

City of Sumner **DESIGN COMMISSION**

AGENDA
Wednesday, February
21, 2024
6:30 p.m.

LOCATION: Council Chambers
-HYBRID MEETING-

Join the meeting on Teams online:

[Click here to join the meeting](#)

Meeting ID: 283 909 360 539

Passcode: SGQqqx

Or call in [+1 323-886-6453,,83152444#](#)

Commission Members

Cheryl Ebsworth, Chair

Joleen Peterson, Vice Chair

Brian Franchini

Kristen Martinson

Scott Fletcher

Dustin Madden

Luke Heath

Staff Members

Scott Waller

Chrissanda Walker

Copy to:

Mayor

City Council

City Administrator

Development Services Director

6:30 pm

1) *Call to Order*

2) *Roll Call*

6:30 pm

3) *New Business-*

**a) 15403/15407 Main
Street**

Commission Recommendation on East
Main Street Driveway. SMC 18.43.140

b) 1103 Main Street

DR-2023-0015 – Design Review for a
new commercial building to replace
one lost to a fire. Development
includes new 16,200sf building and
site improvements to .13 acre site.

c) XXX SR 167 Hwy

DR-2023-0011 - Design Review for
construction of a new restaurant along
with site improvements on a 1.75 acre
site including parking, landscaping and
pedestrian space.

7:00 pm

7:45 pm

8:30 pm

4) *Commission Comments*

5) *Staff comments, start time, Chair Election*

6) *Adjourn*



CITY OF
SUMNER
WASHINGTON

MEMO TO THE DESIGN COMMISSION
from the DEVELOPMENT SERVICES DEPARTMENT

Permit Number: DR-2024-0003

Applicant: Imad Bahbah, IHB Architects
21620 84th Ave S, Ste 200. Kent, WA 98032

Location/Parcel(s): 1543 Main Street E, Sumner, WA. (0520193177, 0520193112, 0520193122, 0520193045, 0520193046).

Project Components: Request for a modified approval to the East Main Street Design Area. Applicant is requesting to put a drive through lane in on East Main Street. The East Main Street Design Area shows a shared driveway just east of the proposed drive through lane and cross access corridors at the north end of the site. The scope of this request is strictly for the ability to have a drive through lane on East Main street and does not include review of any site development. Further design review would be required for the development portion of this project.

Related Permits: Design Review, SEPA, building and site civil permits.

Date of Meeting: February 21, 2024 at 6:30 pm

Staff Representative: Scott Waller – Senior Planner

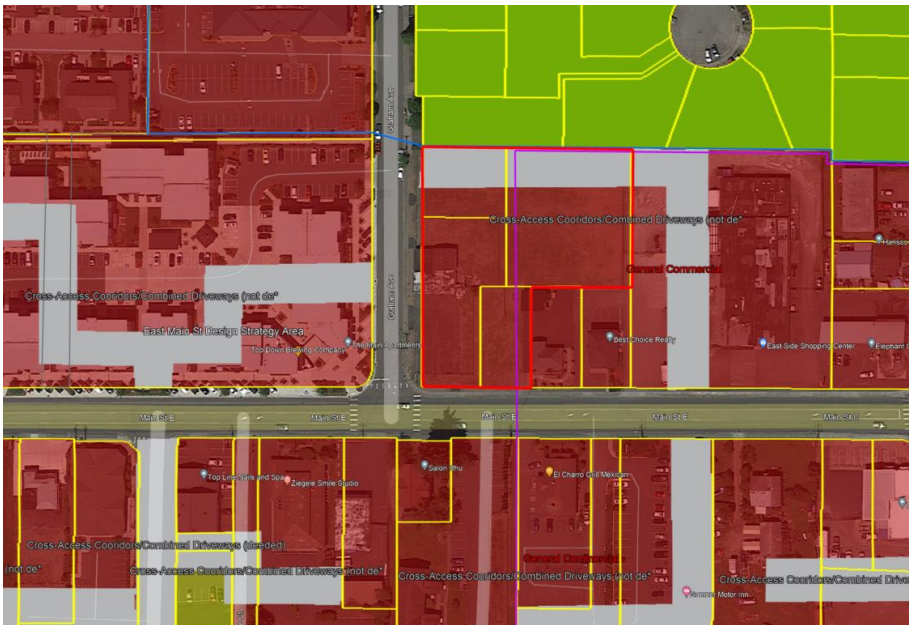
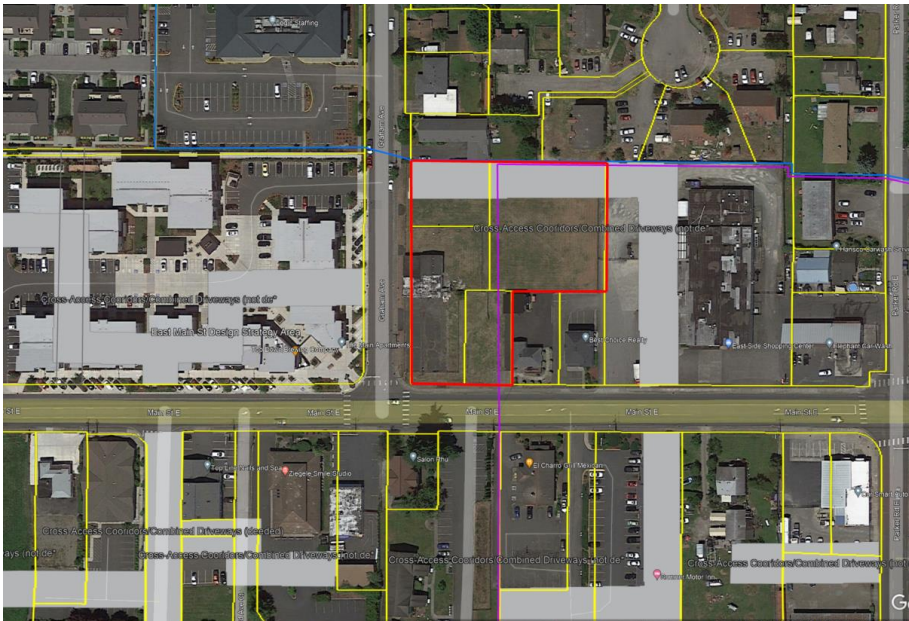
Recommendation: Deny modification as proposed.

Attachments: Site Plan and Modification Request Narrative.

I. BACKGROUND INFORMATION

a. Site Location and Vicinity

The project is located at a series of parcels located at the corner of Main Street and Graham Avenue the primary address is 15403 Main Street. The below images outline the project area in red and the second image overlays the zoning map and shows the location of the cross access corridor and combined driveway location.



b. Proposal Description and overview

Staff supports a project such as this with regards to a mixed use development at this location, however, staff has concerns with the proposed drive through layout and drive through lane exiting onto Main Street. Drive-throughs are permitted in this zone provided they comply with a number of standards (this proposal as shown doesn't meet the provision that the service window and queueing area be obscured from the street SMC 18.16.080(R)(1).) and all projects in this area must comply with the East Main Street Design Strategy which includes codification throughout sections of the SMC, but primarily in SMC 18.43. Any development within the East Main Street area must comply with the access management section of code in SMC 18.43, which would include closing existing driveways along Main Street and construction of the cross access corridor along the north side. Staff doesn't see how this proposal complies, specifically with sections SMC 18.43.040 and SMC 18.43.050. The proposed location of a drive through doesn't meet vision triangle requirements in SMC 18.32.040 (2) and is in too proximity to the proposed angled parking along Main Street. The East Main Street Design strategy shows construction of a shared driveway three properties to the east in the middle of this block.

This scope of review and recommendation for the Design Commission is through the Modified Approvals under SMC 18.43.140 and not on the actual proposed developments design and only relates to this projects ability to include a drive through lane onto Main Street. During further Design Review for the site, the project will need to show compliance with all codes and Design Guidelines. This would require changes to the included site plan to ensure compliance with drive through performance standards, parking requirements and all other codes and guidelines. The current site plan configuration doesn't comply with the drive through standards in SMC 18.16.080(R)(1) and the site is below the minimum parking requirements in SMC 18.42.

II. REVIEW CRITERIA AND ANALYSIS

The project site is zoned General Commercial and is evaluated by SMC 18.43 for East Main Street vehicular access. Below are some relevant sections of code:

GC, General Commercial District. The GC district is intended to provide for retailing and other commercial services that serve the large market area surrounding the Sumner community. In this respect, GC district regulations are intended to accommodate conventional commercial development that is typical to urban areas such as shopping centers, commercial malls and office complexes. Such commercial developments usually rely upon the automobile as their principal source of access.

18.43.010 Purpose of requirements for access management within the East Main Street area.

The design requirements of this section are intended to implement the East Main Street design strategy and recognize that East Main Street serves three divergent functions: moving traffic through the city, providing both safe vehicular and pedestrian access to individual properties

located along the street, and as an extension of the downtown business core. The traffic movement function of East Main Street can compromise the provision of safe vehicular and pedestrian access to individual properties. In addition, the use of multiple driveways along East Main Street detracts from the aesthetic appeal of the area for pedestrians and auto traffic to the detriment of businesses. Therefore, it is the purpose of this chapter to maintain an appropriate balance between these functions, recognizing both the rights of property owners to reasonable access and the public purpose of safe and efficient movement of vehicles and pedestrians in an aesthetically appealing environment.

Whenever any property will take vehicular access from East Main Street and within the East Main Street area, the access to the property shall be in accordance with the requirements of this chapter. (Ord. 2167 § 7, 2006: Ord. 2015 § 7 (part), 2002)

18.43.020 Definitions.

“East Main Street” means that portion of the right-of-way of Main Street beginning at a point 182 feet east of the eastern right-of-way line intersection of Valley Lewis Avenue and proceeding east to a point 658.75 feet west of the western right-of-way line of a 160th Avenue.

“East Main Street area” means the area within the boundaries shown in the East Main Street design strategy and designated as such on the city’s official zoning map.

“New construction, major” means when:

1. The value of new construction, as determined by the building official, exceeds 10 percent of the assessed improvement value of the structure in any 12-month period prior to the new construction; or the new construction increases the total building area by 2,000 square feet, whichever is less; or
2. The new construction results in the conversion of a single-family dwelling to any other use; except, an existing single-family dwelling may add an accessory dwelling unit per SMC 18.16.080(L) without being required to construct the combined driveway; or
3. Construction of a new parking lot that exceeds the threshold in SMC 18.46.080(C).

“New construction, minor” means development that requires any of the following:

1. A certificate of occupancy for a change of use per the city’s adopted building code, chapter 15.08 SMC;
2. A building permit, except when for the maintenance, repair, or aesthetic improvement of the facade that does not increase the building footprint of the structure; or replacement of mechanical equipment or changes to landscaping;
3. A land use permit; or

4. An increase in the number of spaces of an existing parking lot by an increment greater than 100 percent. (Ord. 2167 § 8, 2006: Ord. 2015 § 7 (part), 2002)

18.43.040 Required use of combined driveways.

All properties that are designated on the official zoning map as obtaining access to East Main Street via a combined driveway shall use this combined driveway and designated cross-access corridor(s) for future access as new construction occurs. (Ord. 2015 § 7 (part), 2002)

18.43.050 Closing of existing curbcuts and driveways.

B. When major new construction occurs on a corner property all access rights along the frontage of East Main Street shall be dedicated to the city, and all other pre-existing driveways and curbcuts shall be removed and new curb, gutter, and sidewalk shall be installed.

18.43.140 Modified approvals.

The requirements of this chapter may be modified by the development services director in consultation with the public works director and following a recommendation from the design commission if the modification:

A. Is reasonable and necessary for the development of the property; and

There are other recent mixed use development projects that have been constructed without a drive through or modification to allow a drive through lane onto East Main Street.

B. Will result in a more efficient access to and circulation within the property; and

While the proposed development is not under the scope of review, staff does not see how the drive through here would make for more efficient access and circulation. The drive through cuts through the site and separates many of the units from the internal parking and open space. Furthermore, a dedicated crossing on Main Street for a drive through queue doesn't have the ability to serve other uses on site or allow for future connections to adjacent properties that a typical driveway would. There are examples of multiple banks with drive through queues located both behind the building and the queue is entirely onsite with no dedicated drive through exit onto a public street. Other drive-throughs in Sumner tie back into the internal driveway and parking area before exiting back onto the street. Sumner's code and design guidelines seek to minimize the number of driveways used and having a dedicated driveway for the drive through goes directly against this proposed driveway.

C. Will not create a hazardous condition for motorists or pedestrians.

The East Main Street Design strategy looks to create safe and efficient vehicular and pedestrian movement. The East Main Street design strategy plan shows shared driveways connecting to

East Main street in different locations that create a T intersection with the planned cross access corridors. A typical driveway crossing a sidewalk includes walkways and landscaping leading up to the crossing, this creates an open and more visible area for vehicles to see pedestrians and pedestrians to see vehicles. Other recent construction on Main Street and Graham Ave maintained a separation of approximately 25' between the throat of the driveway and the nearest angled parking stall on the street. The proposed drive through queue exit proximity to the lobby/amenities building and angled parking conflicts with vision triangle/sight distance requirements in SMC 18.32.040 (2) and creates unsafe circumstances between the angled street parking on Main, sidewalk usage and vehicles exiting the drive through lane onto Main Street. The drive throughs can generate high volumes of continuous traffic which would result in a steady stream of vehicles crossing the sidewalk here and impeding safe pedestrian use of the sidewalk.

D. The decision of the development services director may be appealed by the applicant to the hearing examiner, pursuant to SMC 18.56.170. (Ord. 2788 § 47, 2021; Ord. 2015 § 7 (part), 2002.

III. STAFF RECOMMENDATION

The proposed driveway modification to SMC 18.43 (PLN-2024-0003) should not be approved. Staff does not support the proposed drive through onto Main Street as currently shown and does not recommend a modification to SMC 18.43.

SEAWEST - MAIN ST. PROJECT

REV 2-12-24

15403 MAIN ST. E.
SUMNER, WA



ZONING: GENERAL COMMERCIAL
OVERLAYS: EAST MAIN ST DESIGN STRATEGY AREA
EAST SUMNER NEIGHBORHOOD

PROJECT USE: MIXED-USE COMMERCIAL WITH
DRIVE-THRU AND RESIDENTIAL

CONSTRUCTION TYPE: VB
HEIGHT: 45 FT, 3 STORY



Pierce County Spatial Services, Pierce County WA, Spatial Services

EXISTING AERIAL SITE PLAN
NO SCALE

PROJECT SUMMARY

RESIDENTIAL UNITS

(12) 3-STORY TOWNHOMES W 2-CAR PARKING (DRIVEWAY AND GARAGE)

(4) 2-STORY LIVE/WK UNITS W/ SURFACE OR STREET PARKING

(19) APARTMENT UNITS W/ SURFACE OR STREET PARKING
35 UNITS TOTAL

2,500 SF DRIVE-THRU COFFEE / FAST CASUAL W/ 8-CAR QUEUE

RESIDENTIAL PARKING STALLS REQUIRED

12 TOWNHOMES = 2 X 12	= 24
4 LIVE/WK = 1.5 X 4	= 6
19 APTS = 1 X 8 STUDIO =	8
= 1.5 X 11 1B/2B =	17
VISITOR = 35 UNITS/5 =	7
SUB-TOTAL RESIDENTIAL	62

COMMERCIAL PARKING REQ'D:
COFFEE = 2500/100 = 25

GRAND TOTAL PKG REQ'D = 87

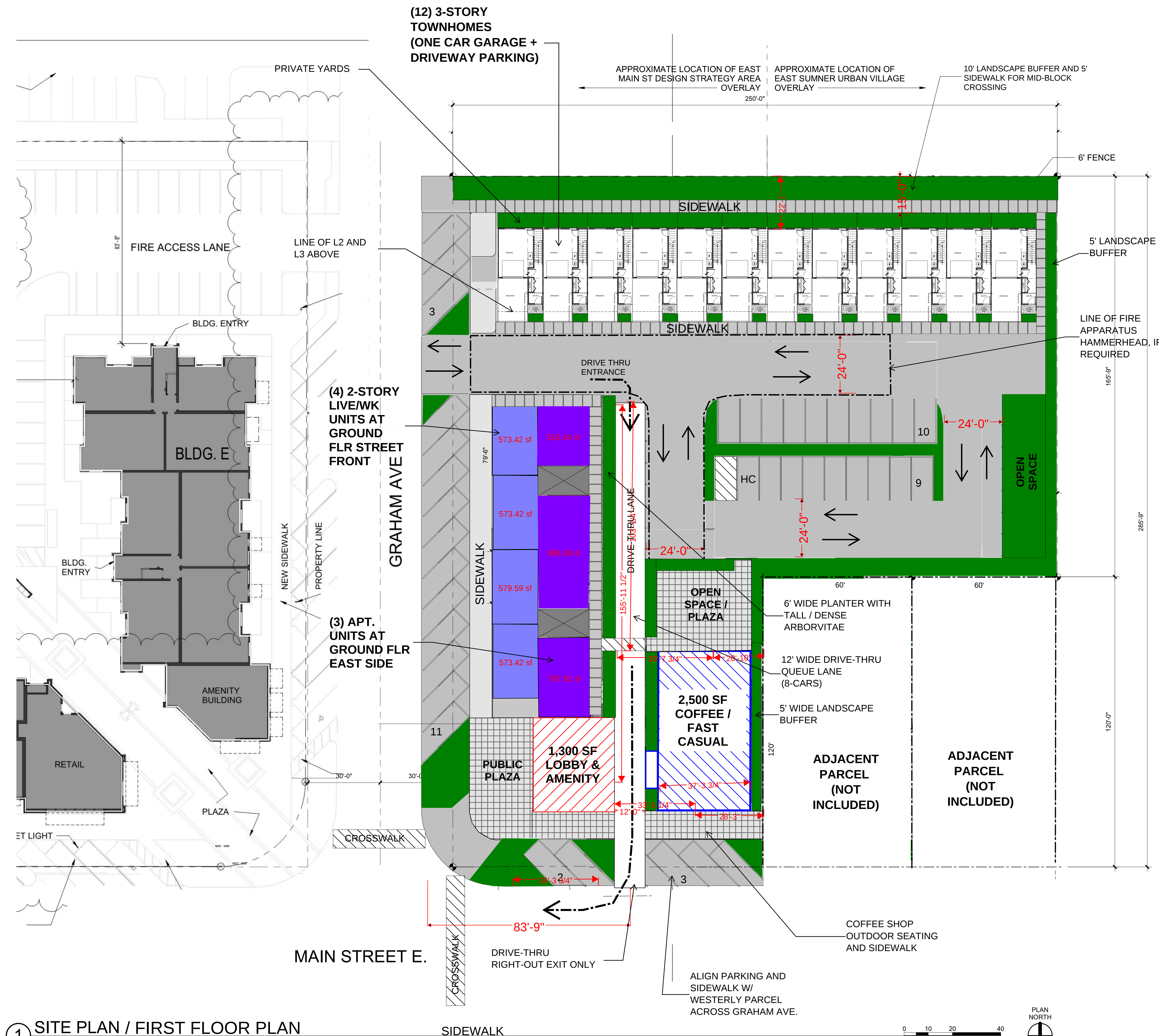
PARKING PROVIDED:
COMMERCIAL - STREET = 19
RESIDENTIAL - ON-SITE = 43
GRAND TOTAL PKG PROVIDED = 62

COMMON OPEN SPACE
200 SF / UNIT REQUIRED
7,000 SF REQUIRED

5,000 SF PROVIDED, INCLUDING PUBLIC PLAZA
2,000 SF PROVIDED ON ROOFTOP
7,000 SF PROVIDED TOTAL

PRIVATE OPEN SPACE
50 SF / UNIT REQUIRED
PROVIDED BY GROUND FLOOR PATIOS AND BALCONIES AT TOWNHOMES AND PROVIDED BY BALCONIES AT APTS. AND LIVE/WK UNITS.

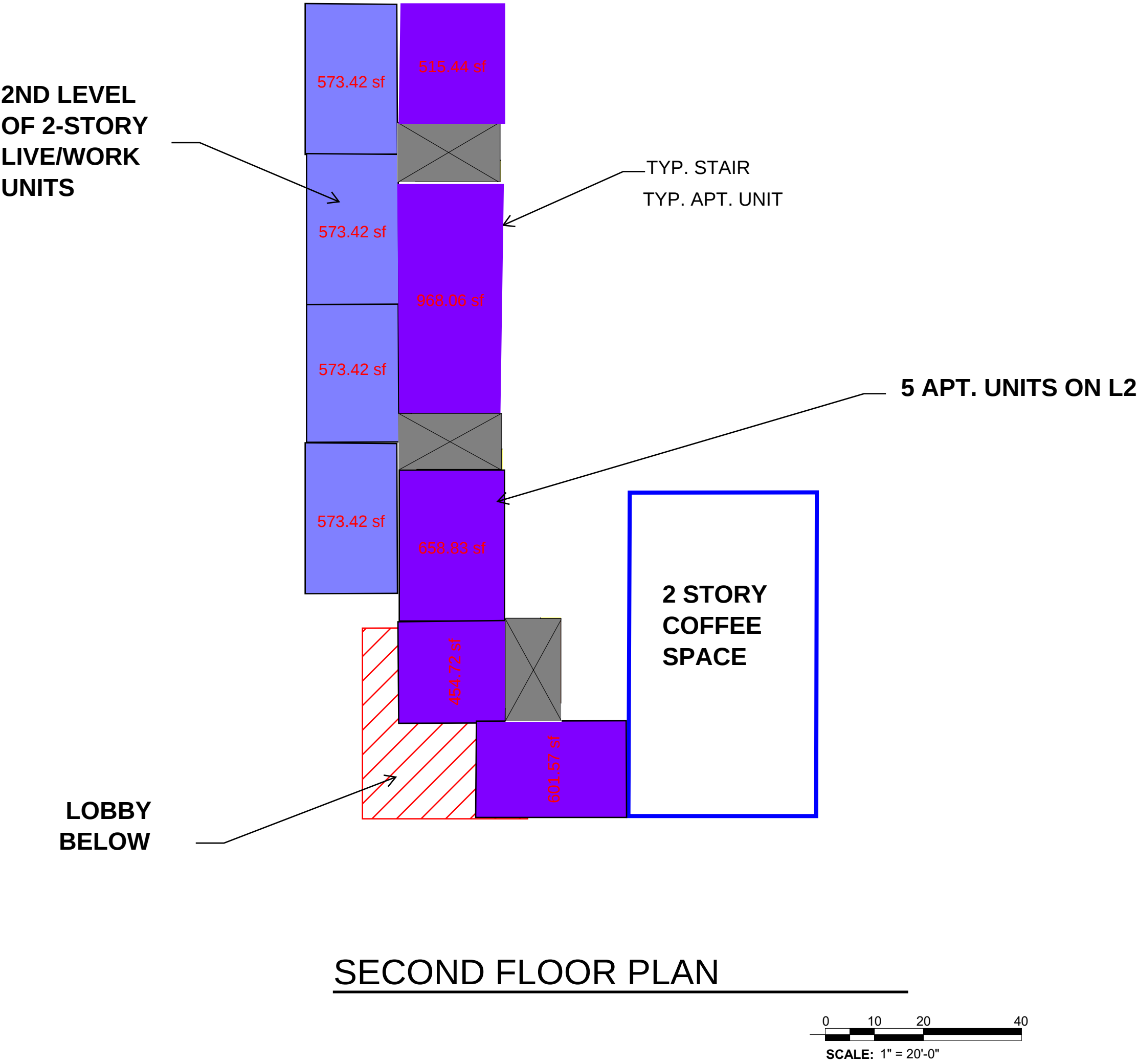
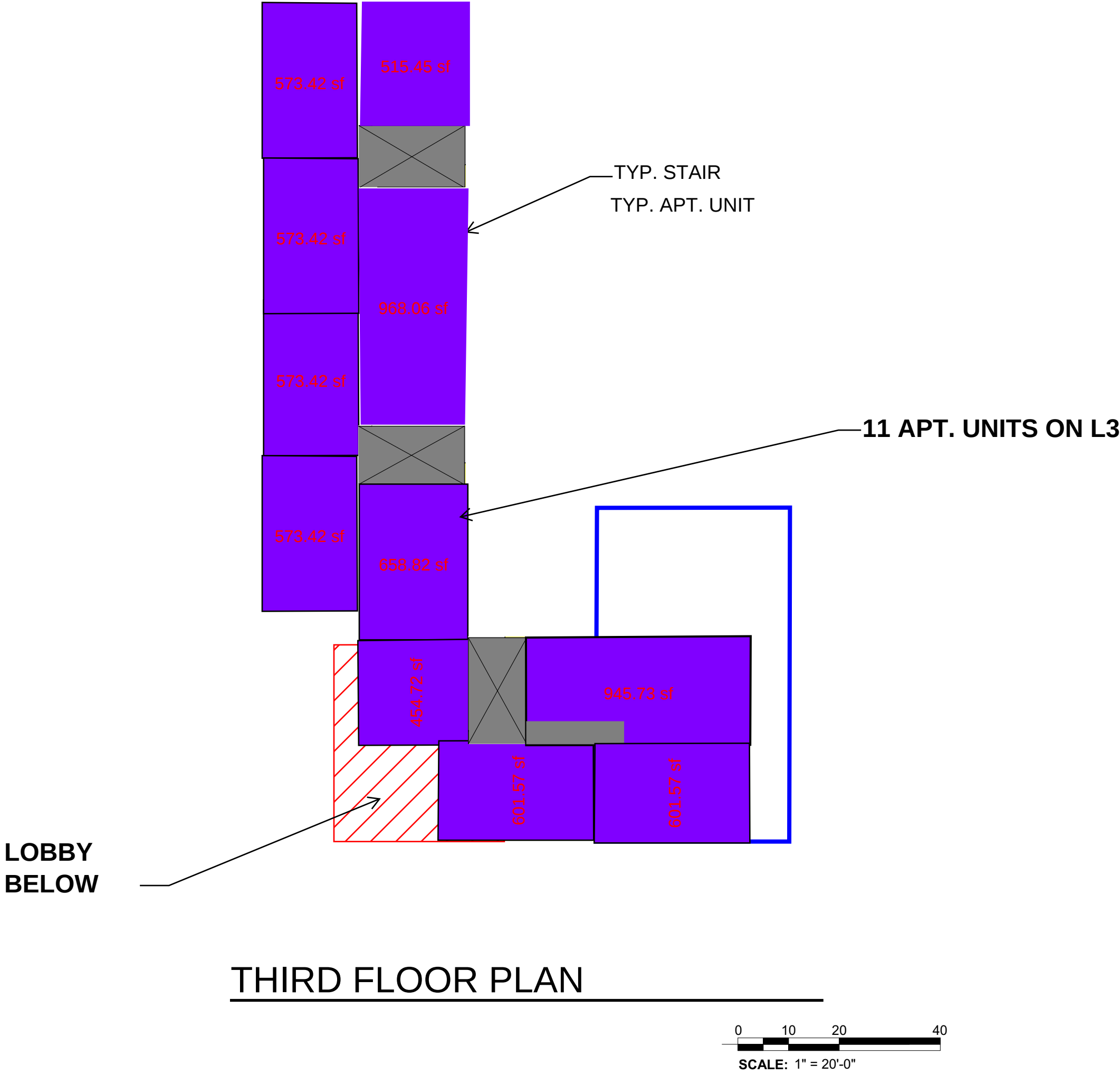
MAXIMUM HEIGHT: 50 FT
MINIMUM SETBACK FROM PUBLIC STREET: 0 FT
MINIMUM SIDE SETBACK: 15 FT
MINIMUM BACK SETBACK: 15 FT



1 SITE PLAN / FIRST FLOOR PLAN
1" = 20'-0"

0 10 20 40
SCALE: 1" = 20'-0"





Seawest Main St. Development - Driveway Modification Request

February 12, 2024

The following response corresponds with the Design Review application and is our justification and narrative for the requested modification to SMC 18.43 Access Management.

18.43.140 Modified approvals.

The requirements of this chapter may be modified by the development services director in consultation with the public works director and following a recommendation from the design commission if the modification:

A. Is reasonable and necessary for the development of the property;

RESPONSE

The proposed single 12' wide right-out only driveway on Main St is reasonable and necessary to the success of the project because:

1. It is reasonable because we're only asking for a 12' wide right-out only driveway.
2. A drive through coffee shop requires at least an 8-car queue lane and dictates the side that the building is on (driver's side). Therefore, in order to satisfy the East Main Street design strategy goals of having storefronts along Main St and also satisfying drive-through requirements under 18.16.080 R., (shown below) the drive-thru building MUST be situated where shown on our site plan. That building location in-turn dictates that the drive-through lane be located to the west of the building, which means that the lane must exit onto Main Street.

18.16.080

R. Drive-through businesses and drive-through espresso/coffee businesses located within the neighborhood commercial district (except on Main Street) or East Main Street area shall be subject to the following:

1. The drive-up service windows and queuing for cars shall not be located between the building and any street and shall be obscured from the street; and
2. The drive-through business shall have a minimum gross floor area of 500 square feet and indoor seating for at least 12 persons; and
3. The drive-through business shall have a pedestrian entrance located on the street edge with pedestrian amenities such as seating benches and tables.

3. Without the drive-through component, the project is not feasible or viable for the developer. Even the planners have indicated that this proposal looks like a great fit in the area and would complement the other projects in the vicinity and the East Sumner and East Main Design strategy.

B. Will result in a more efficient access to and circulation within the property; and

RESPONSE

The proposed drive-through lane location will result in a more efficient access to and circulation within the property because:

1. The proposed drive-through lane location allows easy access from Graham Ave via the internal driveways (without back-ups on Main St) and creates a seamless circulation pattern in and out of the site.
2. By virtue of requesting a right-out only, we are limiting back-ups and/or traffic impacts to Main St.

C. Will not create a hazardous condition for motorists or pedestrians.

RESPONSE

The proposed drive-through lane location will not create a hazardous condition for motorists or pedestrians because:

1. We're only asking for a 12' wide crossing along the sidewalk.
2. The crossing is on an exit only vehicular driveway, therefore is safer than a standard 2-lane driveway.
3. We're asking for a right-out only, which eliminates exiting eastbound onto Main St., thereby minimizing traffic conflicts in front of the property.

D. The decision of the development services director may be appealed by the applicant to the hearing examiner, pursuant to SMC [18.56.170](#).

Acknowledged

Sincerely,



Imad Bahbah, Principal
IHB Architects

Cc: Kya Aatai, Seawest Investment Associates, LLC

The project site may include a driveway on East Main Street, subject to the following conditions of approval:

1. The exact driveway location and configuration is not approved and subject to change at time of development, based on City review of specific driveway design and details needed to safely connect to Main Street.
2. The allowance for a driveway on this site does not guarantee the site configuration shown, but rather allows a driveway to be included as part of an approvable plan. Future development will be required to meet the Sumner Design Guidelines and all other applicable codes, including compliance with SMC 18.16.080 (R) for any proposed drive through.
3. The driveway crossing at East Main must include a contrasting paving material and design from adjacent sidewalks in order to provide a safe and distinguished pedestrian crossing over the driveway approach and include signage and safety measures determined by City Engineering.
4. Project frontage including types and locations of landscaping and street parking stalls shall show safe circulation, sightlines and safety measures between sidewalk users and the driveway.
5. All curb cuts other than those approved shall be closed off and frontage improvements made per City Engineering approval per SMC 18.43.



REPORT TO THE DESIGN COMMISSION
from the DEVELOPMENT SERVICES DEPARTMENT

Permit Number: DR-2023-0011

Applicant: Phillip Kitzes – PK Enterprises
23035 SE 26rd Street Maple Valley, WA 98038

Location/Parcel(s): XXX SR 167 N, Sumner WA (APN: 0420123075) – vacant site south of 24th street and west of BNSF ROW.

Project Components: Design Review for construction of a new restaurant and site improvements on a 1.75 acre site including parking, landscaping and pedestrian space.

Related Permits: Building and site civil permits.

Date of Meeting: February 21, 2024 at 6:30 pm

Staff Representative: Scott Waller – Senior Planner

Recommendation: Conditionally Approve

Attachments: Site Plan with floor plan, Landscape Plan and Building Elevations.

I. BACKGROUND INFORMATION

a. Site Location and Vicinity

The project is currently addressed at xxx SR 167 Hwy N; however, the site is not directly adjacent to SR 167. The site is one of a couple vacant parcels located off 24th Street East that are zoned Interchange Commercial (IC). To the north 24th St, with WSDOT ROW between the developable land and the 24th St sidewalk. To the east is a City storm facility, railroad track and Industrial zoned warehouses. To the south is a vacant lot with the proposed donut shop and the Peterbilt site. To the west is Pape machinery, a gas station, hotels and coffee shops.



b. Proposal Description

The project involves construction of a new approximately xx square foot restaurant with associated parking, landscaping and pedestrian areas.

This proposal is an ideal fit for the IC zone, where it will provide accessible restaurant options with great access from 167 and the industrial area in addition to surrounding areas. Like other sites in this area, there is a large section of WSDOT ROW between this site and 24th St which will require the building to feel further setback from the street. The project is further described in the below sections of this report.

II. REVIEW CRITERIA AND ANALYSIS

The project site is zoned Interchange Commercial and is evaluated by the Commercial Guidelines of the *Design and Development Guidelines*.

IC, Interchange Commercial District

The IC district is intended to provide for retailing and other commercial services that are easily accessible from the freeway yet are not located near residential districts. Such commercial developments primarily rely on the automobile as their principal source of access, yet the design will need to accommodate good pedestrian access. Specific areas are located in the vicinity of the 24th/28th street interchange off of SR-167, and the 166th Ave/ SR-410 area. The designs of these often highly visible developments are important to the character of Sumner.

2.1 Site Design and Parking

2.1.1 Building location guidelines:

- a) Non-residential and mixed-use buildings may be placed up to the edge of the sidewalk of any street (unless otherwise noted) only if they feature a pedestrian-oriented facade.**
- b) All non-residential buildings located along E. Main Street shall be placed up to the edge of the sidewalk and shall feature a pedestrian-oriented facade. Exceptions are provided in SMC 18.16.080(Q).**
- c) All other non-residential and mixed-use buildings that are not located adjacent to the sidewalk must feature at least 10 feet of Landscaping Type C or pedestrian-oriented space between the sidewalk or front property line and the building.**

Reduced setbacks will be considered provided the proposed landscaping and/or building design treatment adds visual interest to the street and creates a comfortable environment for pedestrians. Special standards and considerations for exceptions:

- i) All buildings within 5 feet of the sidewalk should provide a minimum transparency of 50 percent for the ground floor facade between 4 and 8 feet above the sidewalk level.**
- ii) Low level landscaping elements are usually needed to cover foundation materials while maintaining visibility between sidewalk and ground floor windows.**
- iii) Raised or terraced planting beds between a sidewalk and building can be an attractive way of defining the street and providing a comfortable transition between the sidewalk and building – particularly where buildings have a limited amount of transparency on the ground floor.**

Due to the nature of the IC zone and the location of this parcel, the applicant is choosing to set the building back from the property line by 20' as opposed to the 15' setback for the IC zone. Plans show the space between the building and sidewalk (within this property) being landscaped. This guideline is met. The area north of the shown property line and south of 24th Street is ROW and will need approvals for the landscaping shown.

2.1.2 Building orientation.

All buildings shall be oriented towards the street. To meet this requirement:

- a) Building entries must face the street. Exceptions:**
 - i) For multi-building developments where one or more buildings are located away from the street, the building entries for those buildings not adjacent to the street must be clearly visible and/or accessible from the street.**
 - ii) For street corner buildings, an entry on the corner or entries fronting on both streets are encouraged, but one entry only on the primary street may be**

permitted, provided the proposed design treatment on the secondary street meets the intent of the guidelines.

- iii) For the GC and IC Districts, entries may be on the side of buildings provided the entry is clearly visible and accessible from the street.
- b) The facade must have transparent windows and/or doors covering at least 25 percent of the ground floor facade between 4 and 8 feet above the sidewalk. Exceptions:
 - i) For street corner buildings, the Director may reduce the transparency on the secondary street provided the proposed building and landscaping design provide visual interest and create a comfortable pedestrian environment.
 - ii) Reduced transparency proposals will be considered provided alternative design treatments meet the intent of the guidelines, provide an interesting pedestrian experience, and are compatible with the existing and/or desired character of the area. Examples could include, but are not limited to, a vertical trellis with vine plants, a mural, a series of terraced planting beds between the façade and the sidewalk, or distinctive building details that provide interest at a pedestrian scale. A blank wall with no windows and a simple evergreen planting screen will not be enough to meet the intent of the guidelines.

The proposed building is located towards and oriented towards both 24th and 136th. The building includes covered access points that provide a main entrance feel on both the north and south façade. This creates a great presentation to both streets and good connection from both sides. As discussed in other areas of the report, the north and south facades are lacking in lower level transparency due to the floor plan; however, patterned windows are used along both of these facades in the upper section of the building and low windows are used where applicable. The project also includes landscaping along the north elevation in the areas where no windows are present. Staff feels the intent of this guideline is met.

2.1.3 Parking location guidelines.

Parking should be located behind structures, away from streets. Specifically:

- a) **Parking lots shall not be located between the street and any building.**
- b) **For properties where at least some street front parking and vehicular access is unavoidable, as determined by the Director, no more than 30 percent of the primary street frontage and no more than 75 percent of the secondary street frontage may be occupied by parking and vehicle access. Design elements must be included to screen parking areas and maintain visual continuity along the street. This could include a combination of trees, lighting, decorative banners, and architectural elements such as a low wall (approximately 3 feet in height) or a trellis.**
- c) **For properties in the IC zones, parking should be placed to the side or rear of buildings. For multi-building developments, no more than 50 percent of the street frontage may be occupied by parking lots and vehicle access areas. The Director may grant the following exceptions to this requirement provided design elements are included to maintain visual continuity along the street:**
 - i) **The applicant can successfully demonstrate that an increased amount of street front parking allows for a more desirable development configuration in terms of pedestrian access and amenities.**
 - ii) **Vehicle sales lots: Areas for display vehicles may be provided between the building and the street.**

- d) **Except for permitted garage entrances, structured parking on the ground floor may not occupy the primary street frontage. For street corner sites, structured parking may occupy up to 75 percent of the street frontage on the secondary street.**
- e) **Parking is prohibited on street corner sites.**

Parking for this project is located south of the new Branks building. This puts the parking behind the building and further from 24th Street in compliance with this guideline. The parking is adjacent to 136th; however, this is a dead end street and less visible and less trafficked than 24th street. The configuration and layout shown is the best layout with regards to building location and parking location. This guideline is met.

2.1.4 Parking lot screening.

One of the following screening methods shall be provided between the sidewalk and any parking area:

- a) **Provide at least 10 feet of Landscaping Type C.**
- b) **Provide a 5-foot wide planting bed that incorporates a continuous low wall (approximately 3 feet tall). The planting bed shall be in front of the wall and feature Landscaping Type C. Alternative landscaping schemes will be considered by the Director provided they meet the intent of the guidelines. The wall shall be constructed of brick, stone, decorative concrete or concrete block, or other permanent material that provides visual interest and helps to define the street edge as determined by the Director and as recommended by the Design Commission.**

This guideline is met through subsection (a) by providing 10 feet of type C landscaping to screen the parking areas from the adjacent roads to the north and west. The parking area is located behind the building and screened from 136th. This guideline is met.

2.1.5 Driveways.

New driveways should be located and designed to minimize impacts on the pedestrian environment. Specifically:

- a) **Parking lot entrances, driveways, and other vehicle access routes onto private property from a street may be restricted to no more than 25 feet of driveway width per 150 linear feet of street frontage as measured horizontally along the street face.**
- b) **Properties with less than 150 linear feet of street frontage shall make a genuine effort to negotiate shared access with adjoining property owners. One entry and one exit lane for vehicle access will be allowed after there is demonstrable evidence, acceptable to the Director, that shared access is not feasible.**
- c) **Vehicular access to corner lots shall be located on the lowest classified roadway and as close as practical to the property line most distant from the intersection.**
Exception: Corner lots may have one entrance per street provided the owner provides evidence acceptable to the Director that they are unable to arrange joint access with an abutting property.
- d) **Parking garage entries must not dominate the streetscape. They should be designed and sited to complement, not subordinate, the pedestrian entry.**
- e) **Driveways and vehicular access in the East Main Street Area are regulated by SMC 18.43.**

This project proposes one driveway from 136th and one driveway off 24th street. It also shows a connection to the site to the south which will connect these two sites and improve access and circulation. This guideline is met.

2.1.6 Vehicular Access.

Specific standards:

- a) Developments should provide a safe and convenient network of vehicular circulation that connects to the surrounding road/access network and provides the opportunities for future connections to adjacent parcels, where applicable. For example, large sites (at least 2 acres) should generally utilize a network of vehicular connections at intervals of no more than every 400 feet. This is on a scale similar to most pedestrian-oriented downtowns.**
- b) Where abutting developed land provides road stub-outs, easements, or other methods to provide the opportunity for future road connections, the interior network of new development shall be designed to utilize these connections.**
- c) Properties within the East Main Street Area shall provide vehicular access per SMC 18.43**

This project provides a well laid out parking lot and access for vehicles and pedestrians alike. The layout allows both vehicles and pedestrians to access from 24th and or 136th through separate points to promote safe circulation and reduce pedestrian conflict. The proposal also includes connection to the south. This guideline is satisfied.

2.1.7 Street corners.

Development proposals for street corner sites shall include at least one of the design treatments described below:

- a) Locate a building towards the street corner (within 15 feet of corner property line).**
- b) Provide pedestrian-oriented space at the corner leading directly to a building entry or entries.**

Not applicable.

2.1.8 Service, Loading, and Garbage Area Guidelines.

- a) Service, loading, refuse and storage areas shall be located and designed to minimize the impacts on the streetscape, pedestrian areas, and customer parking areas. Solid waste receptacles visible from the street, customer parking areas, and residential units shall be surrounded on at least three sides by a wall. Such enclosures shall be designed compatible with the primary structure(s) onsite by using concrete block or other durable materials compatible with the primary structure(s). Enclosures located in a parking lot shall feature self-closing doors.**
- b) Landscaping or other forms of screening shall be provided around outdoor service, storage, loading and mechanical areas, utility meters, electrical conduit, and other service and utilities apparatus to provide sensory (visual, olfactory, auditory) screening from adjacent properties, streets, affected pedestrian circulation routes, and affected pedestrian-oriented spaces.**
- c) No large outside item display areas are permitted (e.g. kitchen appliances or other similarly large merchandise that is visible from the street).**

- d) All rooftop mechanical equipment shall be organized, proportioned, detailed, landscaped (with decks or terraces) and colored to be an integral element of the building.
- e) Exterior mechanical devices shall conform to SMC 18.16.080(A) concerning noise impacts.

The exterior refuse area is shown on the east side of the driveway in the undeveloped portion of the site. This location is potentially visible from 24th Street. Staff recommends the trash area include a solid enclosure and additional landscaping. Condition #1 addresses this.

2.1.9 Multiple Building and Large Lot Development.

Developments with more than 20,000 square feet of gross floor area should take advantage of special opportunities and mitigate impacts. Applicants shall demonstrate how their development features a unifying organization that accomplishes the following goals:

- a) Mitigate transportation impacts and facilitate better traffic circulation by connecting through streets, where applicable.
- b) Provide convenient and connected pedestrian access system.
- c) Encourage buildings to complement adjacent activities and visual character (where desirable).
- d) Arrange buildings in clustered masses that enhance the pedestrian environment within the development and along street frontages. For example, consider clustering small retail stores in close proximity to large retail stores and clustering smaller retail shops front on the main arterial as separate building “pads.”
- e) Incorporate open space and landscaping as a unifying feature.
- f) Incorporate screening, environmental mitigation, utilities, and drainage as a positive element.

This section is not applicable.

2.2 Pedestrian Access and Amenities

2.2.1 Internal pedestrian circulation guidelines:

- a) All buildings must have clear pedestrian access to the sidewalk. Where a use fronts two streets, access shall be provided from the road closest to the main entrance, but preferably from both streets.
- b) Developments must include an integrated pedestrian circulation system that connects buildings, open spaces, and parking areas with the adjacent street sidewalk system.
- c) For sites abutting vacant or underdeveloped land, the Director may require new development to provide for the opportunity for future connection to its interior pathway system through the use of pathway stub-outs, building configuration, and/or parking lot layout. For example, a grid of pedestrian connections at intervals of 200- 300 feet would meet the “Intent” statements above and be scaled similar to traditional Sumner block sizes in downtowns.
- d) Provide pathways through parking lots. A paved walkway or sidewalk must be provided for safe walking areas through parking lots greater than 150 feet long (measured either parallel or perpendicular to the street front). Walkways shall be provided for every three parking aisles or spaced no more than 150 feet apart shall be maintained between paths

(whichever is more restrictive). Such access routes through parking areas shall utilize pedestrian-scaled lighting (lights mounted no higher than 14 feet) and contrasting paving material. Walkways shall be separated from vehicular access and parking areas by 5-foot minimum planting strips with Landscaping Type C. Alternative configurations will be considered by the Director where such treatments create a more desirable configuration/design in terms of pedestrian access and visual or environmental amenities.

- e) Crosswalks are required when a walkway crosses a paved area accessible to vehicles. The crosswalk shall use contrasting paving material that differentiates it from the parking lot.
- f) Developments must continue the sidewalk pattern and material across driveways.

This project includes pedestrian access and circulation throughout the site including access from the sidewalks on 24th and 136th. This pedestrian circulation system also runs adjacent to the parking lots and includes walkway segments between the two parking lots in the landscape strip dividing them. Staff proposes a condition of approval that looks to include an east west connection from the new Banks building pad to the eastern side of the property to connect it to the future development and a concrete connection through the parking lots connecting the south lot to the building.

2.2.2 Weather protection.

Provide pedestrian weather protection in public spaces such as transit stops, building entries, along display windows, and over outdoor dining areas. Specifically:

- a) Weather protection at least 5 feet deep is required over all primary building, individual business, and individual residence entries. This may include a recessed entry, canopy, porch, marquee, or building overhang.
- b) Canopies, awnings, or other similar weather protection features should not be higher than 15 feet above the ground elevation at the highest point or lower than 8 feet at the lowest point. The street-side edge of the canopy or awning shall be at least 8 feet above the walking surface.
- c) Multi-tenant retail buildings are encouraged to use a variety of weather protection features to emphasize individual storefronts and reduce the architectural scale of the building.

This project provides pedestrian weather protection throughout the site. The building proposes metal canopies above any areas that will be used for pedestrian access and along the store fronts to cover people as they walk in from the two primary customer entrance points on the north and south elevations. Staff would encourage additional coverings to be included above the eastern entrances to both provide weather protection, but also provide another element to this visible facade. This guideline is satisfied with a recommended condition of approval for additional coverings.

2.2.3 Internal Pedestrian Paths and Circulation.

Provide appropriate pathway widths to accommodate the anticipated pedestrian activity and create a comfortable pedestrian environment. Specifically:

- a) All internal pathways must be at least 5 feet in width.
- b) Pathways along the facade of mixed-use and retail buildings 100 feet or more in length (measured along the facade) that are not located adjacent to a street must be at least 12 feet wide with 8 feet minimum unobstructed width and include the following:
 - i) Street trees, as approved by the Director, should be placed at an average of 30 feet on-center and placed in grates. Breaks in the tree coverage will be allowed near

- major building entries to enhance visibility. However, no less than 1 tree per 60 lineal feet of building facade must be provided;
 - ii) Planting strips may be used between any vehicle access or parking area and the pathway, provided that the required trees are included and the pathway is at least 8 feet in width and the combined pathway and planting strip is at least 15 feet in width; and
 - iii) Pedestrian-scaled lighting may be used as a substitute to the required street trees subject to Director approval, provided they are used at the same intervals.
- c) For all other interior pathways, the applicant must demonstrate to the Director's satisfaction that the proposed walkway is of sufficient width to accommodate the anticipated number of users. For example, a 10- to 12-foot pathway can accommodate groups of persons walking four abreast, or two couples passing one another. An 8-foot pathway will accommodate three persons walking abreast, while a 5-foot pathway will allow two individuals to pass comfortably

The length of the proposed building façade is 100' in length. This project shows wide concrete areas along the south building façade to allow for an outdoor patio area called out on the plans. The remaining walkways shown are all concrete and 5' wide in compliance with this guideline. A separate condition of approval looks at increasing the sites walking connectivity. This guideline is satisfied.

2.2.4 Secondary entrance design elements.

All commercial uses containing a secondary side or rear customer entrance shall incorporate at least two of the following design elements to visually enhance such entries:

- a) Weather protection over the entry at least 3 feet wide in the form of awnings, marquees, canopies, or overhangs.
- b) Decorative pedestrian-oriented signage consistent with SMC 18.44 that highlights the entry and adds visual interest.
- c) Pedestrian-oriented space or designated outdoor eating areas.
- d) Fixed landscaping elements, including one of the following:
 - i) Landscaped planter or fixed planter box incorporating decorative groundcover, shrubs, and/or trees.
 - ii) A trellis or other similar architectural element that incorporates landscaping.
- e) Decorative pedestrian-scaled lighting fixture(s).
- f) Special building details that highlight the entry and add visual interest.
- g) Other features that meet the intent of the guidelines as determined by the Director and as recommended by the Design Commission.

The proposed buildings do contain a series of entrances along the facades, with customer entrances primarily located along the north and south façades. Service doors and emergency exits are located at the east and west elevations of the building. Each of the customer entrances includes weather protection over the door and is directly connected to the main walkway along the storefront that includes landscaping and seating areas. A separate condition looks at including weather protection over the service doors on the west façade. This guideline is satisfied.

2.2.5 Pedestrian-oriented space.

All non-residential development shall provide pedestrian-oriented space (designed consistent with the definition below) according to the formula below:

2 percent of the lot area + 1 percent of the non-residential building area. This total area can be provided in one large space or split up into a few smaller spaces.

Note: Minimum required sidewalks or interior walkway areas shall not count as pedestrian-oriented space. However, where walkways are widened beyond minimum requirements, the widened area may count as pedestrian-oriented space if the Director determines that the area meets the definition of pedestrian-oriented space.

A pedestrian-oriented space is an area that promotes pedestrian activity, subject to the following:

- a) To qualify as a pedestrian-oriented space, an area must have:
 - i) Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security – such as adjacent to a building entry.
 - ii) Paved walking surfaces of either concrete or approved unit paving.
 - iii) Pedestrian-scaled lighting (no more than 14 feet in height) at a level averaging at least 2-foot candles throughout the space. Lighting may be on-site or building-mounted lighting.
 - iv) At least three feet of seating area (bench, ledge, etc.) or one individual seat per 60 square feet of plaza area or open space.
 - v) Pedestrian access to the abutting structures from the street, private drive, or a non-vehicular courtyard.
 - vi) Landscaping components that add seasonal interest to the space.
- b) The following features are encouraged in pedestrian-oriented space:
 - i) Pedestrian amenities such as a water feature, drinking fountain, and/or distinctive paving or artwork.
 - ii) Provide pedestrian-oriented facades on some or all buildings facing the space.
 - iii) Consideration of the sun angle at noon and the wind pattern in the design of the space.
 - iv) Transitional zones along building edges to allow for outdoor eating areas and a planted buffer.
 - v) Movable seating.
- c) The following features are prohibited within pedestrian-oriented space:
 - i) Asphalt or gravel pavement.
 - ii) Adjacent unscreened parking lots.
 - iii) Adjacent chain link fences.
 - iv) Adjacent blank walls.
 - v) Adjacent dumpsters or service areas.
 - vi) Outdoor storage or retail sales that do not contribute to the pedestrian environment. An example is stacked bags of potting soil or compost, which are common in front of grocery stores during the spring and summer. The area used for such purposes will not be counted as pedestrian-oriented space.

This project contains its pedestrian oriented space on the south side of the building. (Proposed building 6,000sf = 60sf + proposed site development area 44,000 = 880 = total required pedestrian oriented space 940sf). Note that only the developed portion of the total site area is being used for this phase. The eastern section of the site is remaining undeveloped and will need to include pedestrian oriented space during its design review. The project shows almost 3,000 sf of paved area directly south of the building labeled as dinning patio on the landscape plans. This exceeds the required amount of space; however, the plans do not show any amenities or screening of the adjacent parking lot. Staff recommends lighting is included in this area (wall sconces, string lights or freestanding),

either an inground planter strip or raised planters along the more of the south side of the patio area to better screen it from the parking and seating. This guideline is met as conditioned.

2.2.6 Site Lighting.

Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas. New developments shall provide site lighting that meets the following design criteria through implementing measures such as:

- a) All public areas shall be lighted with average minimum and maximum levels as follows:
 - i) Minimum (for low or non-pedestrian and vehicular traffic areas) of 0.5 foot candles;**
 - ii) Moderate (for moderate or high volume pedestrian areas) of 1-2 foot candles; and**
 - iii) Maximum (for high volume pedestrian areas and building entries) of 4 foot candles.****
- b) Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.**
- c) Parking lot lighting fixtures shall be non-glare and mounted no more than 25 feet above the ground, with lower fixtures preferable so as to maintain a human scale. Requests for higher lighting fixtures may be considered with the approval of the Director. All fixtures over 15 feet in height shall be fitted with a full cut-off shield.**
- d) Pedestrian-scaled lighting (light fixtures no taller than 15 feet) is encouraged in areas of pedestrian activity. Lighting shall enable pedestrians to identify a face 45 feet away in order to promote safety.**
- e) Lighting should not be permitted to trespass onto adjacent private parcels nor shall light source (luminaire) be visible at the property line. All building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building. Light fixtures other than traditional cobra heads are encouraged.**

The proposal does not show illumination plans. This guideline will be satisfied as conditioned.

2.3 Building Character and Massing

2.3.1 No franchise and corporate architecture.

The use of stock building plans, typical corporate and/or franchise designs, or other designs which are easily identified with a particular chain or corporation are not allowed. “Regional prototype alternatives,” may be considered as an alternative by the Director if all other design criteria have been met.

The proposal includes architectural features and design elements that match the design that Sumner seeks. This is accomplished through the use of a masonry base, covered entrance points, large windows where applicable and breaks in the buildings roofline. This guideline is met.

2.3.2 Design all visible facades.

All facades of a building shall be given equal design consideration. Some flexibility may be given by the Director for alley or other facades that are not visible from streets, parks, parking lots, or other uses.

The proposed development generally does a good job of carrying design elements and materials throughout the project. Each building façade uses the same materials and carries the style around to all sides. This guideline is met.

2.3.3 Unique designs.

Designs which are unique and utilize generic products and integrate them into the building design may be considered.

The proposed building integrates masonry base, metal siding, metal roof, large windows and a roll up door. The design gives off a modern barn or ranch like style which pays tribute to the old Branks location at the corner of Main and Valley. This proposed design does a good job of playing into that history while not going over the top on a design that is so unique. The proposal does a good job of have a traditional look and feel with some more modern elements like the roll up door. This guideline is satisfied.

2.3.4 Facade articulation in the NC and MU districts, facades along East Main Street, and on storefronts adjacent to a sidewalk. All non-residential building facades fronting on a street or containing a pedestrian entrance must include at least two of the following articulation features at intervals no greater than 30 feet.

- a) Use of window and/or entries that reinforce the pattern of small storefront spaces.
- b) Use of weather protection features that reinforce the pattern of small storefronts. For example, for a business that occupies three lots, use three separate awnings to break down the scale of the storefronts. Alternating colors of the awnings may be useful as well.
- c) Change of roofline.
- d) Change in building material or siding style.
- e) Other methods that meet the intent.

This project is zoned IC, and therefore this section is not applicable.

2.3.5 Facade articulation for all other non-residential buildings not covered in Guideline 2.3.4 above. All non-residential building facades fronting on a street or containing a pedestrian entrance must include at least three of the following articulation features at intervals no greater than 60 feet.

- a) Use of window and/or entries that reinforce the pattern of small storefront spaces.
- b) Providing building modulation of at least 2 feet in depth and 4 feet in width.
- c) Use of weather protection features that reinforce the pattern of small storefronts. For example, for a business that occupies three lots, use three separate awnings to break down the scale of the storefronts. Alternating colors of the awnings may be useful as well.
- d) Change of roofline.
- e) Change in building material or siding style.
- f) Providing lighting fixtures, trellis, tree, or other landscape feature within each interval.
- g) Other methods that meet the intent.

Exception: Alternative articulation methods will be considered by the Director provided such treatment meets the intent of the guidelines. For example, use of high quality building materials

(such as brick or stone) with attractive detailing may allow a building to meet the intent of the guidelines using greater articulation intervals. Also, where the articulated features are more substantial in terms of effectively breaking up the façade into smaller components, then a greater distance between architectural intervals may be acceptable.

The proposed project contains building modulation, weather protection awnings, a change in roofline, change in building material including, storefront glass, masonry along with landscaping throughout the site and around the building. The building facades range from approximately 60'-100'. The two 100' elevations show continuous masonry at the bottom, windows, extended rooflines for the covered entrances, a step back in the roof with continuous upper story windows. The north elevation is likely to be the building façade most visible from the street and includes the largest span of building without windows or other breaks. The section of the north façade from the entrance to the east doesn't include any windows or other changes in the wall. It should be noted that the floor plans show this area as bathrooms and kitchen, which limits the ability to have windows here. While pilasters or other measures could be used here, the landscape plans show landscaping all along this section of building and given the relative small scale along with the roofline breaks and upper story windows, staff doesn't feel additional measures are necessary needed here. This guideline is satisfied.

2.3.6 Rooflines:

a) Rooflines visible from a public street, open space, or customer parking area must be varied by emphasizing dormers, gables, stepped roofs, prominent cornice or fascia, or a broke or articulated roofline. The width of any continuous flat roofline should extend no more than 100 feet without modulation. Modulation should consist of either:

- i) For flat roofs or facades with a horizontal eave, fascia, or parapet, the minimum vertical dimension of roofline modulation is the greater of two feet or 0.1 multiplied by the wall height (finish grade to top of wall). The required change in elevation noted above may be reduced by approximately ½ provided the roofline change corresponds with a change in building materials.**
- ii) A sloped or gabled roofline segment of at least 20 feet in width and no less than 3 feet vertical in 12 feet horizontal.**
- iii) A combination of the above.**

The Director may relax this requirement if building incorporates other design treatments that reduce the perceived scale of the building, add visual interest, and complement the design of other nearby buildings.

b) For buildings in the NC zone, pitched roofs with a minimum slope of 5/12 are preferred to maintain the residential character of the area.

While the proposal does not exceed 100 feet, it does contain modulation and breaks to the roofline through the use of varying height and continuance upper story windows. This guideline is met.

2.3.7 Maximum Facade Width.

The maximum facade width (the facade includes the apparent width of the structure facing the street) of the upper story of multi-story and large-scale retail buildings (with floor area greater than 50,000 square feet) visible from a street, public open space, or pedestrian-oriented space is 120. Buildings exceeding 120 feet in width along the street front shall be divided by a 30-foot wide modulation of the exterior wall, so that the maximum length of a particular facade is 120 feet. Such modulation must be at least 20 feet or deeper and extend through all floors except the

ground floor where a pedestrian-oriented facade has been provided. Decks and roof overhangs may encroach up to 3 feet (per side) into the modulation. The Director will consider other design methods that are effective at reducing the perceived width of the building.

The proposed building does not exceed 50,000 square feet floor area or the 120 feet of façade width and this guideline is therefore not applicable.

2.3.8 First story commercial frontages.

In order to ensure the ground floor of structures has adequate height to function efficiently for retail uses, the first story's height to finished ceiling of new infill buildings must not be lower than 13 feet.

The proposed structure is single story, but does go up to 31' in total building height and show height exceeding this requirement. This guideline is met.

2.3.9 Vertical articulation.

To moderate the vertical scale of multi-story buildings, the design shall include techniques to clearly define the building's top, middle and bottom. The following techniques are suggested methods of achieving vertical articulation:

- a) Top: Sloped roofs, strong eave lines, cornice treatments, horizontal trellises or sunshades, etc.**
- b) Middle: Windows, balconies, material changes, railings and similar treatments that unify the building design.**
- c) Bottom: Pedestrian-oriented storefronts, pedestrian-scaled building details, awnings, and arcades.**

The proposed building is a single story structure; therefor this guideline is not applicable.

2.3.10 Blank walls.

Untreated blank walls visible from a public street or pedestrian pathway are prohibited.

- a) Blank walls - A wall (including building facades and retaining walls) is considered a blank wall if:**
 - i) A ground floor wall or portion of a ground floor wall over 6 feet in height has a horizontal length greater than 15 feet and does not include a transparent window or door; or**
 - ii) Any portion of a ground floor wall having a surface area of 400 square feet or greater does not include a transparent window or door.**
- b) Untreated Blank walls facing a public street, pedestrian-oriented space, or pedestrian pathway are prohibited. Any new blank walls shall be treated through one or more of the methods below sufficient to meet the intent of the guidelines. For large walls, for example, a combination of treatments may be needed to break up the façade and provide visual interest. Owners of existing buildings containing visible blank walls are encouraged to utilize one or more of the following treatments to add visual interest to the street.**
 - i) Transparent windows or doors;**
 - ii) Display windows**

- iii) Landscape planting bed at least 5 feet wide or a raised planter bed at least 2 feet high and 3 feet wide in front of the wall with planting materials that are sufficient to obscure or screen approximately 1/3 of the wall's surface within three years.
- iv) Installing a vertical trellis in front of the wall with climbing vines or plant materials.
- v) Artwork (mosaic, mural, sculpture, relief, etc.) over approximately 1/2 of the blank wall surface.
- vi) Other methods that meet the intent.

The proposed building includes a few areas that would meet the qualifications for blank walls, these include the east and west gable ends between the roof and windows and the first story segments adjacent to the entrance to the buildings end. The later of these two was discussed in a previous section of this report and includes the landscape strip called out in this section. The gable end sections on the east and west elevations could be looked at to see if anything could be added to break up the wall area. Ideas to consider could be horizontal banding to break up this wall, extended canopies or awnings, color change, windows and or a material change. Conditions look at this area and options.

2.4 Building Details and Materials

2.4.1 Building details.

All buildings shall be enhanced with appropriate details. All new buildings are encouraged to employ at least one detail element from each of the three categories below. Other mixtures of detail elements will be considered. The applicant must demonstrate how the amount, type, and mix of details meet the intent of the guidelines. For example, a large building with multiple storefronts will likely need more than one decorative sign, one transom window, and one decorative kick-plate to meet the intent of the guidelines.

- a) Window and/or entry treatment
 - i) Display windows divided into a grid of multiple panes
 - ii) Transom windows
 - iii) Roll-up windows/doors
 - iv) Other distinctive window treatment that meets the intent of the guidelines.
 - v) Recessed entry
 - vi) Decorative door
 - vii) Arcade
 - viii) Landscaped trellises or other decorative element that incorporates landscaping near the building entry
 - ix) Other decorative entry treatment that meets the intent of the guidelines.
- b) Decorative facade attachments
 - i) Decorative weather protections element such as a steel canopy, decorative cloth awning, or retractable awning
 - ii) Decorative, custom hanging sign(s)
 - iii) Decorative building-mounted light fixtures
- c) Building materials and other facade elements
 - i) Decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework.
 - ii) Decorative artwork on building (such as a mural) or bas-relief sculpture

- iii) **Decorative kick-plate, pier, beltcourse, design**
- iv) **Other details that meet the intent of the guidelines as determined by the Director and as recommended by the Design Commission.**

Decorative elements referenced above must be distinct “one-of-a-kind” elements or unusual designs that require a high level of craftsmanship as determined by the Director.

The proposed project contains at least one item from each category, specifically it uses transom windows, highly decorative weather protected entrances and masonry. This guideline is satisfied.

2.4.2 Building materials.

Building exteriors should be constructed from high quality, durable materials. Building materials such as concrete, masonry, tile, stone, and wood are encouraged.

The proposed building primarily uses metals siding and masonry. This guideline is satisfied.

2.4.3 Prohibited materials.

The following materials are prohibited in visible locations unless an exception is granted by the Director based on the integration of the material into the overall design of the structure.

- a) **Vinyl or plywood siding (including T-111 or similar plywood).**
- b) **Highly tinted or mirrored glass (except stained glass), except when used as an accent design element covering less than approximately 10 percent of the building facade.**
- c) **Corrugated fiberglass.**
- d) **Un-enhanced (e.g. galvanized, non-trimmed, non-vinyl) chain link fencing (except for temporary purposes such as a construction site or as a gate for a refuse enclosure).**
- e) **Crushed colored rock/crushed tumbled glass.**
- f) **Non-corrugated and highly reflective sheet metal.**

None of the prohibited materials are proposed.

2.4.4 Special standards for concrete block.

Special standards for concrete or concrete blocks (concrete masonry units, CMU, or “cinder blocks”): When used for walls that are visible from a street, public park or open space, or pedestrian route, concrete or concrete block construction shall be architecturally treated in one or more of following ways:

- a) **Use a combination of textured surfaces such as split face or grooved to create distinct banding or other design.**
- b) **Use of other masonry types such as brick, glass block, or tile in conjunction with the concrete or concrete blocks.**
- c) **Use of decorative coursing to break up blank wall areas.**
- d) **Use matching colored mortar where color is an element of architectural treatment for any of the options above.**

The project shows a stone masonry along the bottom. This guideline is not applicable.

2.4.5 Special standards for metal siding.

When used for walls that are visible from a street, public park or open space, or pedestrian route, buildings shall have visible corner moldings and trim and incorporate masonry, stone, or

other durable permanent material within 2 feet of the ground level. Facades wider than 40 feet that employ metal siding shall incorporate multiple colors / other siding materials.

Metal siding is proposed; however, the plans show continuous use of masonry at the ground level. Other sections of the report and conditions look at ways to break up some of the facades.

2.4.6 Special standards for Exterior Insulation and Finish System (EIFS) and other similar troweled finishes. EIFS and other similar troweled finishes (including Exterior Insulation and Finish system or “EIFS”) must be trimmed in wood or masonry and should be sheltered from extreme weather by roof overhangs or other methods and are limited to no more than approximately 1/3 of the facade area. Weather exposed horizontal surfaces must be avoided. Masonry, stone, or other durable permanent material is required for the first 2 feet above ground level.

This section is not applicable.

2.4.7 Year of construction.

The year of construction of a building shall be noted by the installation of a permanent cast metal plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principal street may be used in lieu of a cast metal plaque. The year of construction is to be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included.

A year of construction plaque is not shown, but a condition requires that a plaque is shown at time of building permit application.

2.4.8 Color Palette.

A storefront’s palette should be no more than three colors; one base color, one trim color, and one accent color. Encourage trim and accent colors that contrast with the base color. Specifically, darker base colors with white trim work particularly well. However, lighter base colors can effectively be combined with dark trim colors. An attempt should be made to choose colors that are compatible with surrounding buildings.

The color palate is made up of two base colors of white and red, the building also has a prominent roof showing as a dark charcoal color. Additionally, the building has a gray masonry segment along the base. This guideline is satisfied.

2.5 Streetscape and Landscaping

2.5.1 Sidewalk widths and uses.

- a) New buildings intended for ground floor restaurant or other similar uses that may desire outdoor dining or seating opportunities are encouraged to setback storefronts to provide for wider sidewalks. For example, 12-foot sidewalks allow for very limited outdoor dining/sitting opportunities, while 15-foot sidewalks provide a more desirable**

configuration for outdoor dining. Also see SMC 12.28.100 and 18.16.080(O) for related standards.

Wider sidewalks provide opportunities for a greater range of pedestrian activities.

- b) **Sidewalks shall not be enclosed as building space for retailing. Outdoor dining and small, temporary displays for items such as groceries, hardware, books, etc. may be allowed provided they do not impede pedestrians passing comfortably on the sidewalk. Also see SMC 12.28.080 for related provisions.**

The proposed building will have sidewalk out at 24th street and 136th; however, due to the large section of ROW and where the building needs to be, the public sidewalk connects to the site, but is not conducive to seating. The project will include a large paved patio on the south side of the building to accommodate outdoor seating.

2.5.2 Streetscape amenities.

Pedestrian amenities must be included along Main Street within the East Main Street Planning Area and Fryer/Traffic Avenue within the Town Center Plan Area...

The proposed project is in the IC zone and is outside the above mentioned areas, it does however contain outdoor seating and planters in the pedestrian oriented space.

2.5.3 Bicycle Rack Location.

New developments are to provide bicycle parking per SMC 18.42.085. These bicycle racks should be placed close to major entrances in visible and well-lit areas on private property.

Bicycle racks are not shown but are asked for in the condition of approvals.

2.5.4 Site Lighting.

Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

New developments shall provide site lighting that meets the following design criteria through implementing measures such as:

- a) **All public areas shall be lighted with average minimum and maximum levels as follows:**
 - i) **Minimum (for low or non-pedestrian and vehicular traffic areas) of 0.5 foot candles;**
 - ii) **Moderate (for moderate or high volume pedestrian areas) of 1-2 foot candles; and**
 - iii) **Maximum (for high volume pedestrian areas and building entries) of 4 foot candles.**
- b) **Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.**
- c) **Parking lot lighting fixtures shall be non-glare and mounted no more than 25 feet above the ground, with lower fixtures preferable so as to maintain a human scale. Requests for higher lighting fixtures may be considered with the approval of the Director. All fixtures over 15 feet in height shall be fitted with a full cut-off shield.**

- d) **Pedestrian-scaled lighting (light fixtures no taller than 15 feet) is encouraged in areas of pedestrian activity. Lighting shall enable pedestrians to identify a face 45 feet away in order to promote safety.**
- e) **Lighting should not be permitted to trespass onto adjacent private parcels nor shall light source (luminaire) be visible at the property line. All building lights shall be directed onto the building itself and/or the ground immediately adjacent to it. The light emissions should not be visible above the roofline of the building. Light fixtures other than traditional cobra heads are encouraged.**

Conditions require a lighting plan that complies with the above design guidelines shall be supplied at time of building permit application.

2.5.5 Landscaping.

Developments are subject to SMC Chapter 18.41 requirements.

- a) **Green roofs may be used to meet up to 50 percent of required landscaped area. Such roofs shall have a substrate depth of at least 4 inches designed to accommodate a variety of hardy, drought-resistant plant species.**
- b) **Permeable pavements may count for up to 30 percent of the required landscaped areas based on the level of permeability and long term maintenance capabilities as determined by the Director.**

The proposed project is required to have 4,400 square feet of landscaping in order to meet the required 10% of the 44,000sf developed portion of the site. The project site plan labels 15,460 square feet; however, some of this may be counting offsite ROW landscaping. This still clearly has over 8,000sf of onsite landscaping and therefore exceeds the required amount of landscaping. This guideline is satisfied.

2.5.6 Side and rear yard buffer requirements.

All developments shall incorporate one or more of the following design options:

- a) **Provide Landscaping Type A at least 10 feet deep alongside and rear property lines where adjacent to residential zoned land.**
- b) **Provide Landscaping Type B or C at least 10 feet deep alongside and rear property lines where a visual separation of uses is desired. The width of the planting strip may be reduced to 5 feet if used in conjunction with a screen fence approximately 6 feet tall.**
- c) **Other treatments that meet the intent of the guidelines as approved by the Director. Factors that must be considered in determining the appropriate treatment include views, applicable uses, connectivity, and desired level of privacy. Some options include:**
 - i) **Shared pathway along or adjacent to the property line with landscaping. This is a desirable configuration that can enhance pedestrian circulation and provides an efficient use of space. This treatment requires a recorded agreement with applicable adjacent property owner(s).**
 - ii) **Tall privacy fence or hedge (up to 6 feet tall). This is most applicable for commercial uses adjacent to multifamily uses – where the fence doesn’t negatively impact views from the street or nearby properties.**
 - iii) **Low screen fence or hedge (up to 3 feet tall). This may be a more attractive option where a taller fence might provide negative visual impacts.**

- iv) **Where allowed in the specific zoning district, buildings sited up to the property line may be acceptable provided design treatments are included to meet Guideline 2.4.7 (Blank Walls).**

This project proposes 10 feet of type C landscaping along the north, south and west property to screen the parking space from the adjacent properties and street. The east section of the site is left vacant for future development. This guideline is satisfied.

III. STAFF RECOMMENDATION

The proposal (PLN-2023-0011) should be APPROVED subject to the following CONDITIONS, to be addressed prior to building permit issuance:

1. **2.1.8 Service, Loading, and Garbage Area Guidelines.:**
 - A. The trash area shall include a solid enclosure with walls, a gate and additional landscaping on the north and east sides.
 - B. Utility meters, vents, and other mechanical equipment shall be located and screened in accordance with this guideline.
2. **2.2.1 Internal pedestrian circulation guidelines**

Provide an east west connection from the new Banks building pad to the eastern side of the property to connect it to the future development and a concrete connection through the parking lots connecting the south lot to the building.
3. **2.2.2 Weather protection**

Additional coverings should be included above the eastern entrances to provide weather protection and also provide another element to this visible façade.
4. **DG 2.2.5 Pedestrian Oriented Space**
 - A. Provide lighting in the concrete patio area (wall sconces, string lights or freestanding)
 - B. Include an extension to the inground planter strip or raised planters along the more of the south side of the patio area to better screen it from the parking and seating.
5. **2.3.2 Design all visible facades and 2.3.10 Blank Walls.**
 - A. The gable end sections on the east and west elevations could be looked at to see if anything could be added to break up the wall area, ideas to consider could be horizontal banding to break up this wall, extended canopies/awnings, color change, windows and or a material change.
 - B. The project shows a covered area for the smoker pit, this canopy should be constructed from similar materials to match the primary buildings design and colors.
6. **DG 2.2.6 and 2.5.4 Site Lighting**

The project shall show that site lighting is provided in compliance with these guidelines prior to issuance of development permits.

7. **2.4.7 Year of construction.**

A year of construction plaque shall be shown near either of the entrances at time of building permit application.

2.5.5 Bicycle Rack Location

Bicycle racks shall be shown at time of development permit application in compliance with this guideline and SMC 18.42.

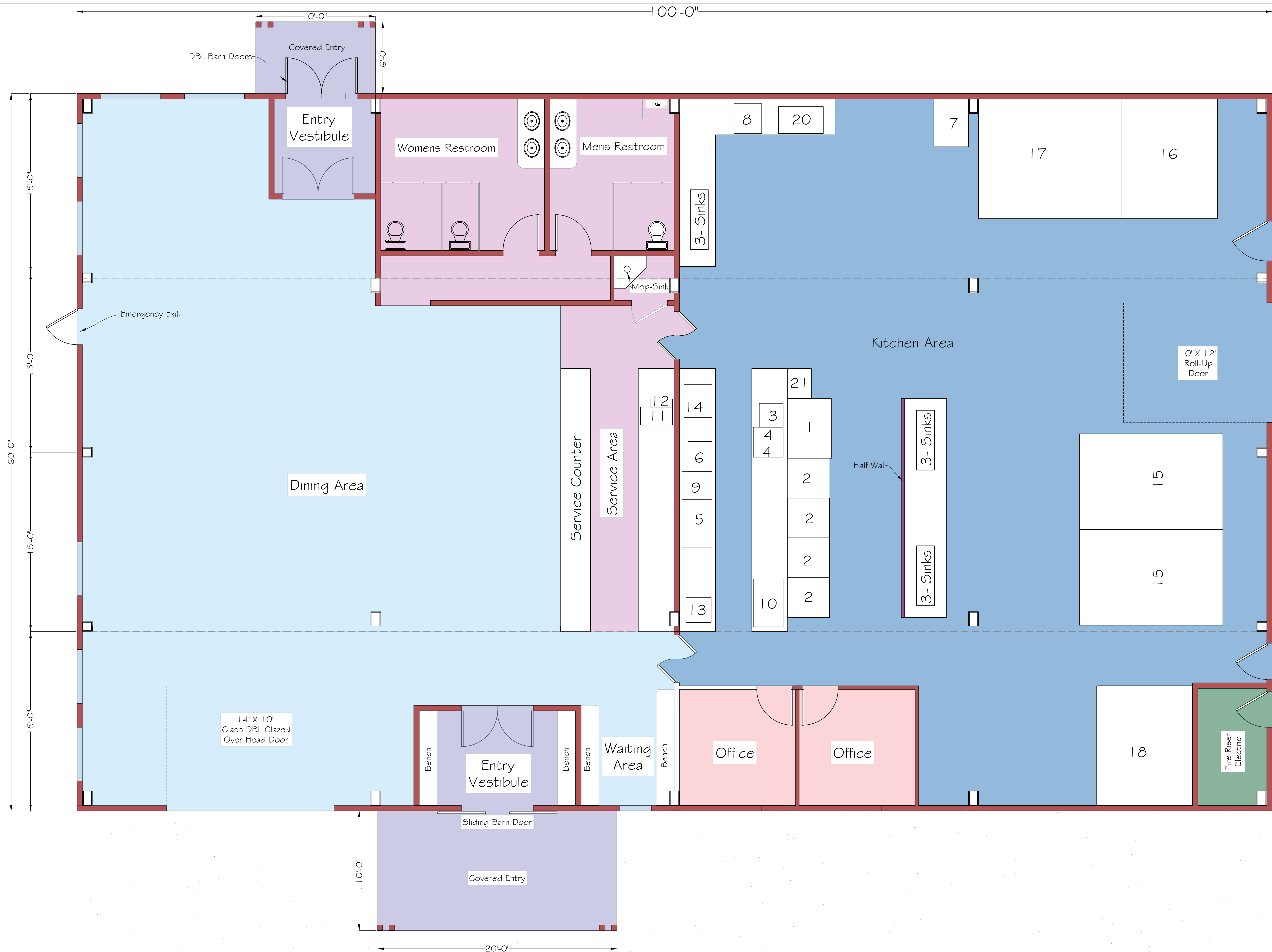
8. **Wheel stops**

Wheel stops shall be used along the north parking stalls located adjacent to the concrete patio space consistent with SMC 18.42.030 (D)(5)

9. **Signs**

Signs are not approved as part of this design review; a separate sign permit shall be required for any proposed signs, showing that it complies with the location, height and size limits of the sign code. By approving design review plans, the City does not review or approve the shown signs.

NOTE: The Design Review approval process does not authorize uses or construction. Public Works, Building and Fire Department approvals have not been granted under this review; additional reviews and approvals are required prior to final project approval.

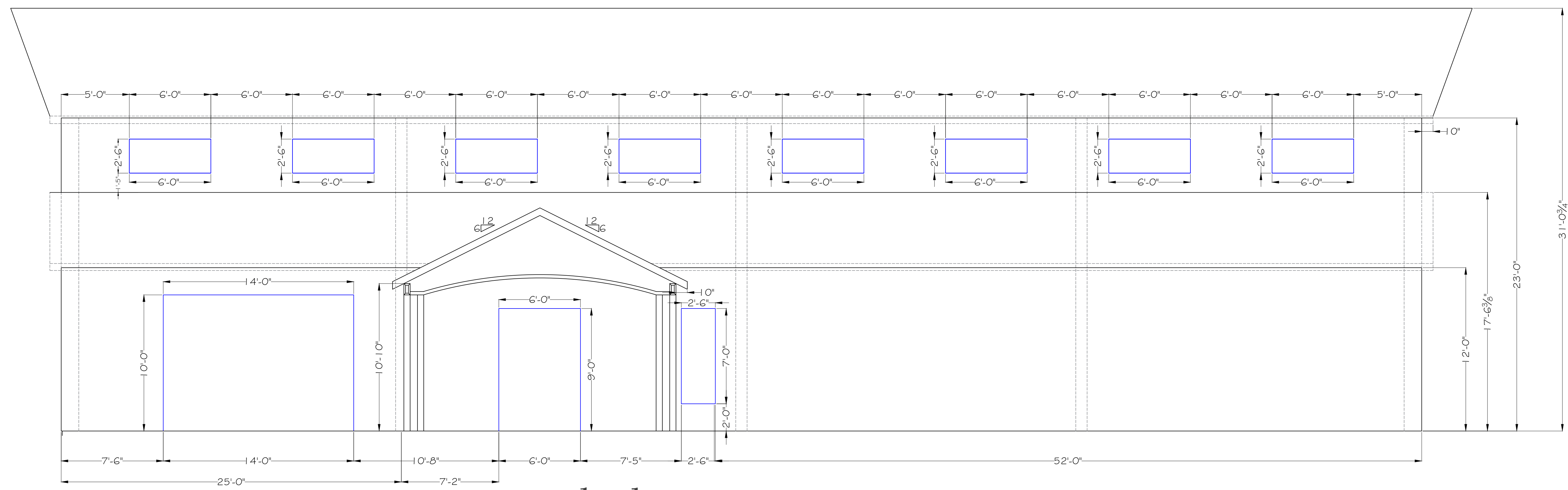


Dining Area	1983 Sq. Ft.
Occupant Load	133
Restroom/Services	546 Sq. Ft.
Occupant Load	10
Kitchen Area	1874 Sq. Ft.
Occupant Load	10
Total Area	6000 Sq. Ft.
Total Occupant Load	153
Covered Entry	260 Sq. Ft.

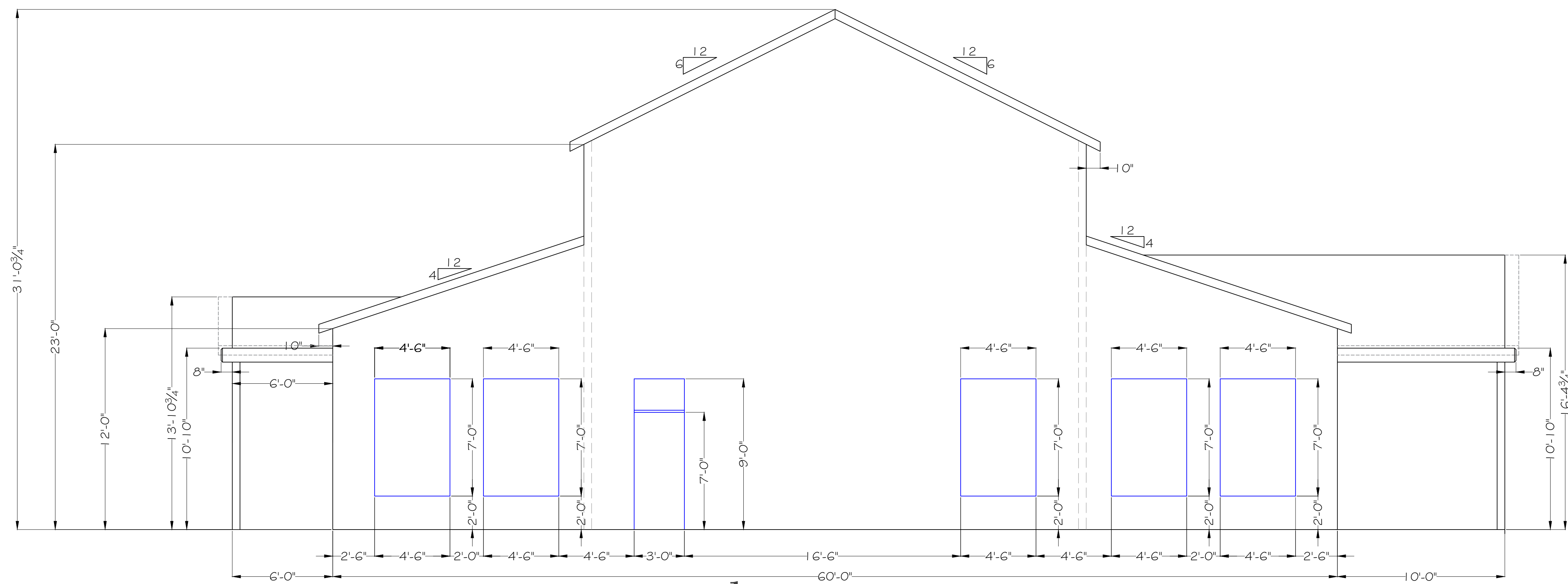
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Branks BBQ
Proposed Restaurant (rev.9)

BBQ Open Pit Area

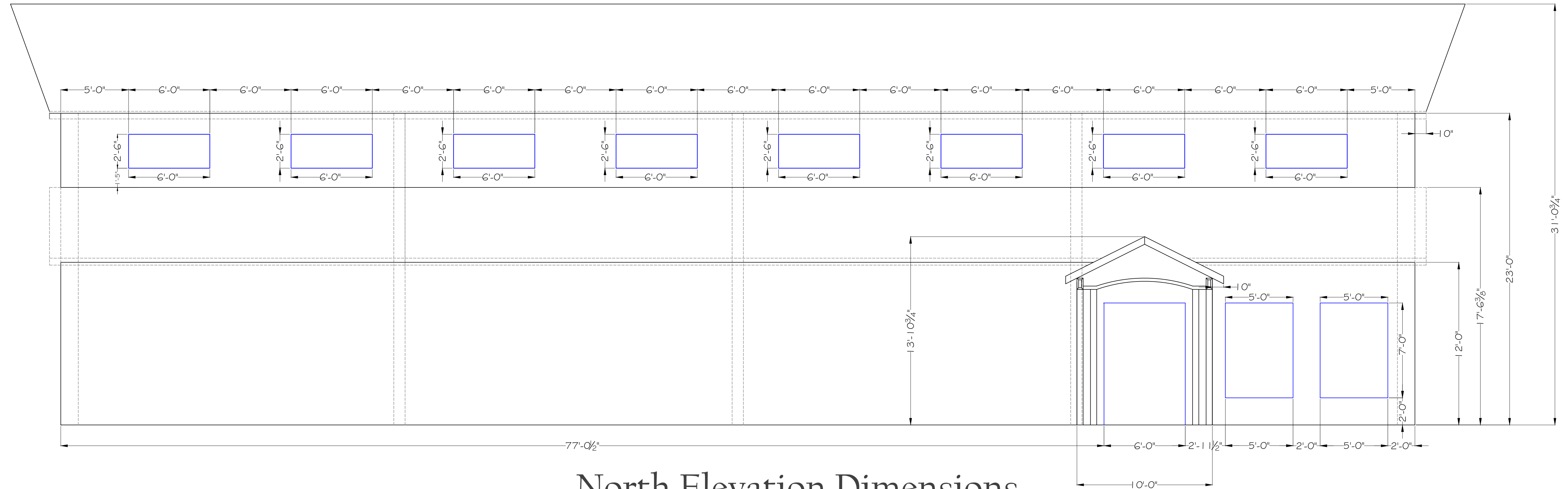


South Elevation Dimensions
Scale 1/4" = 1'

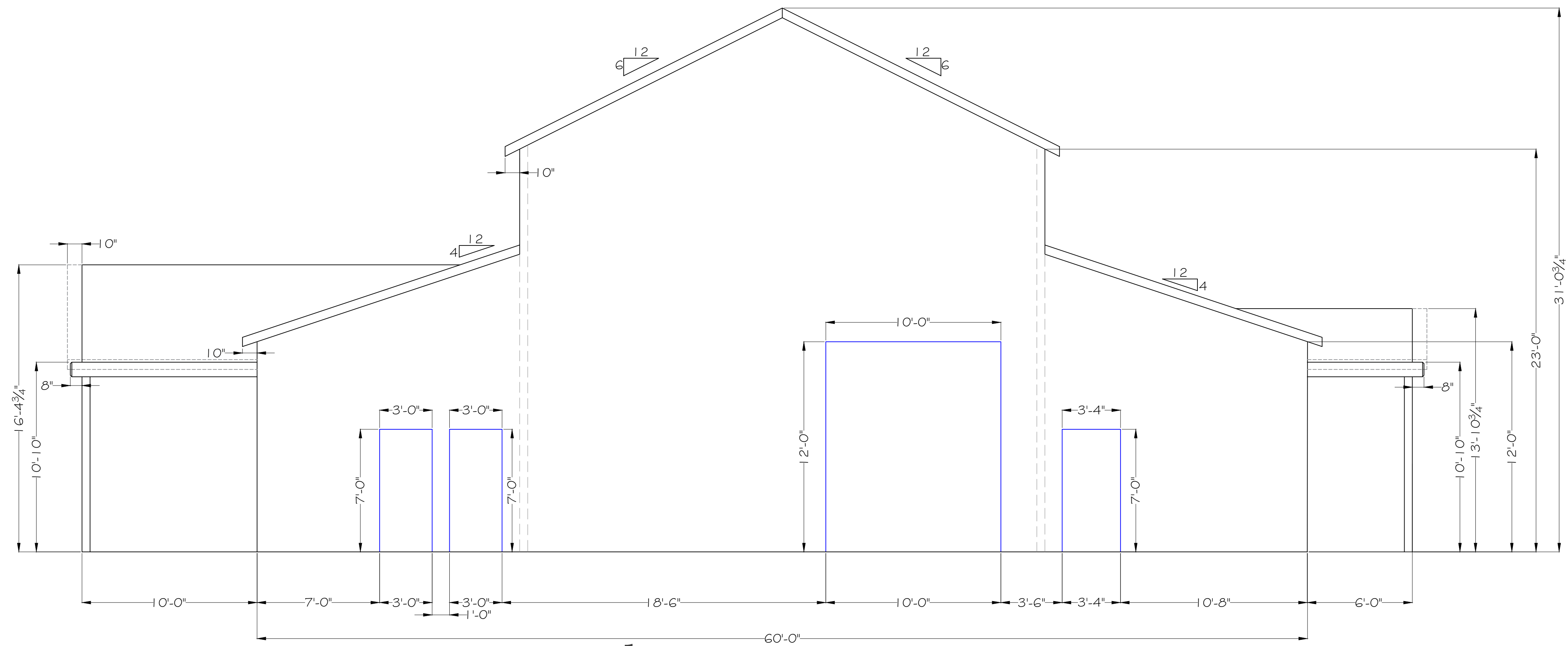


West Elevation Dimensions
Scale 1/4" = 1'

Branks BBQ
Proposed Restaurant
South & West
Elevation Dimensions

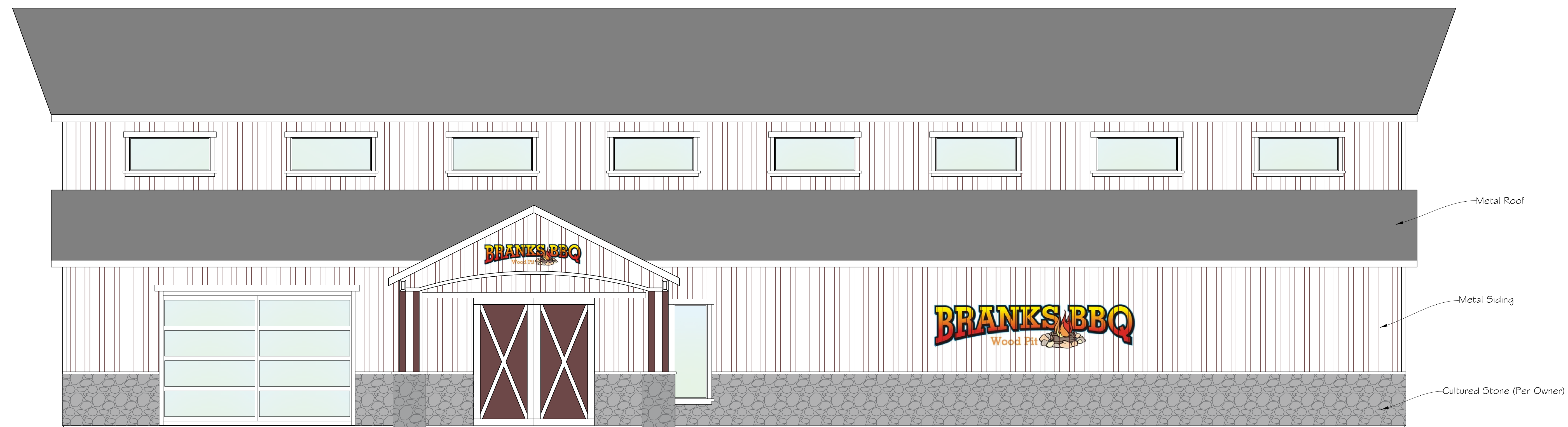


North Elevation Dimensions



East Elevation Dimensions

Branks BBQ
Proposed Restaurant
North & East
Elevation Dimensions



South Elevation

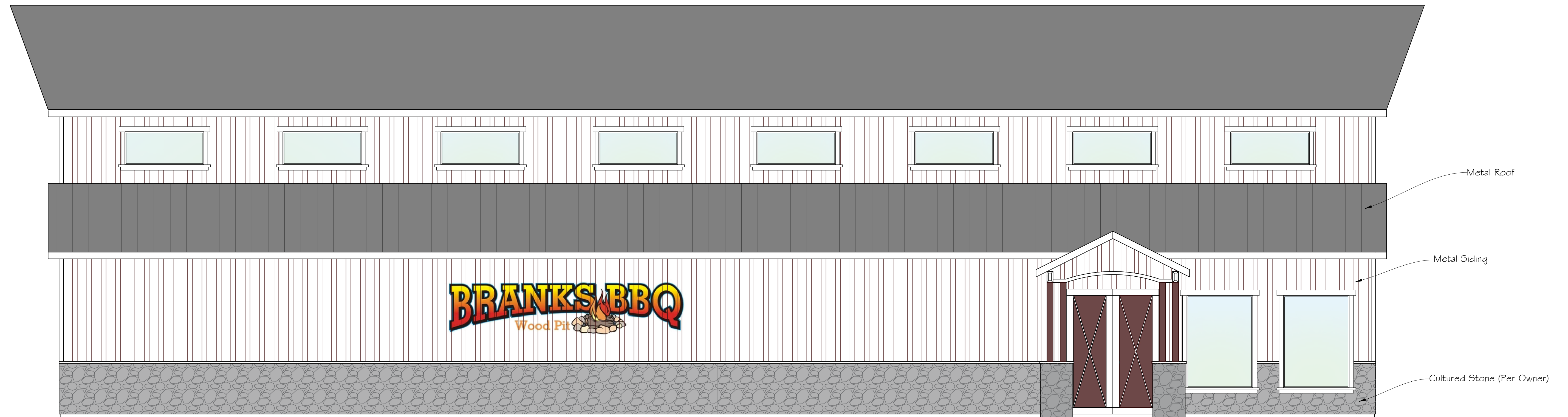
Scale $\frac{1}{4}" = 1'$



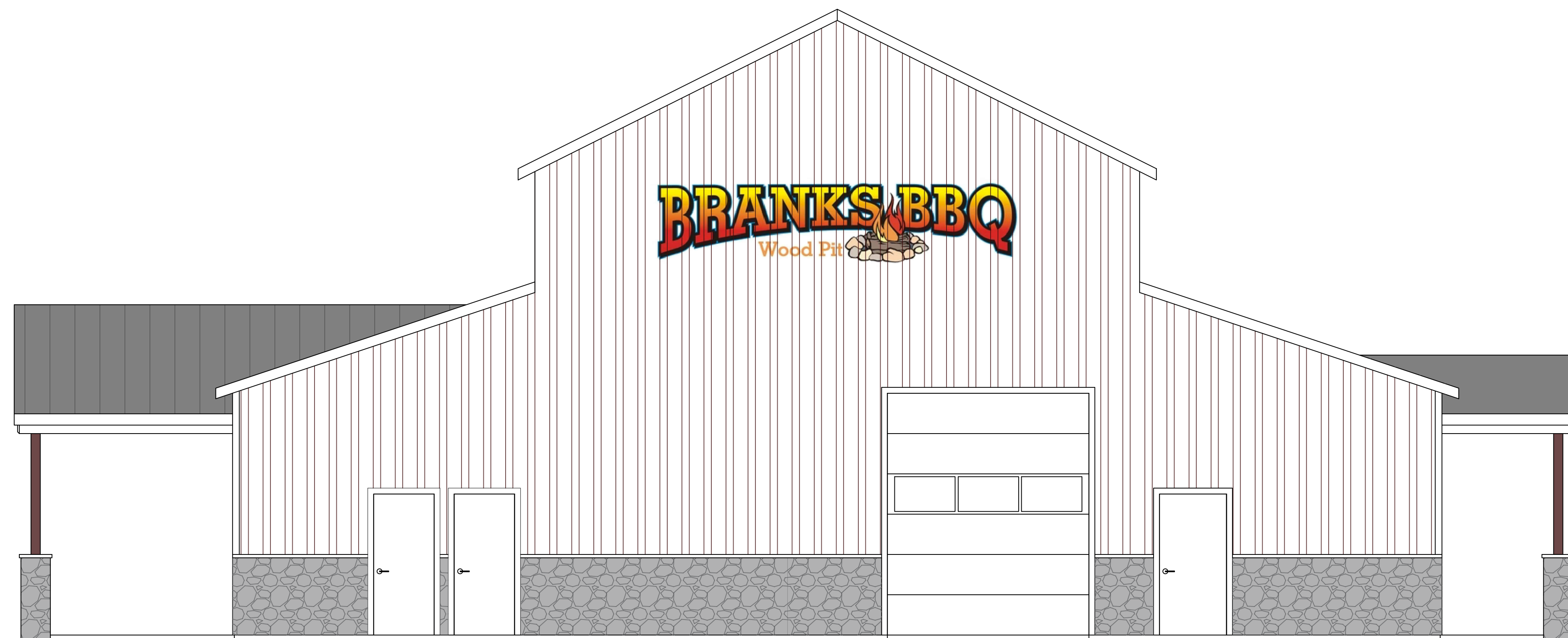
West Elevation

Scale $\frac{1}{4}" = 1'$

Branks BBQ
Proposed Restaurant
South & West Elevation



North Elevation
 Scale $\frac{1}{4}" = 1'$

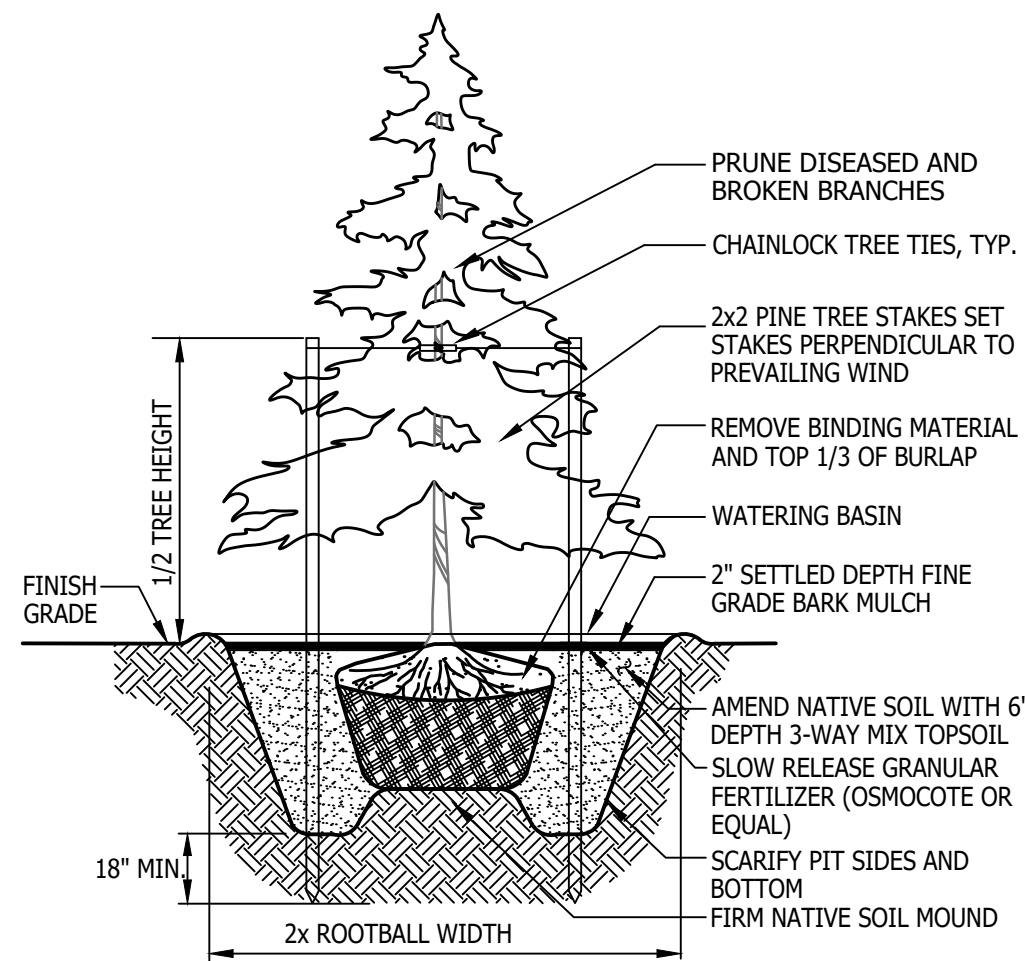


East Elevation
 Scale $\frac{1}{4}" = 1'$

Branks BBQ
 Proposed Restaurant
 North & East Elevation

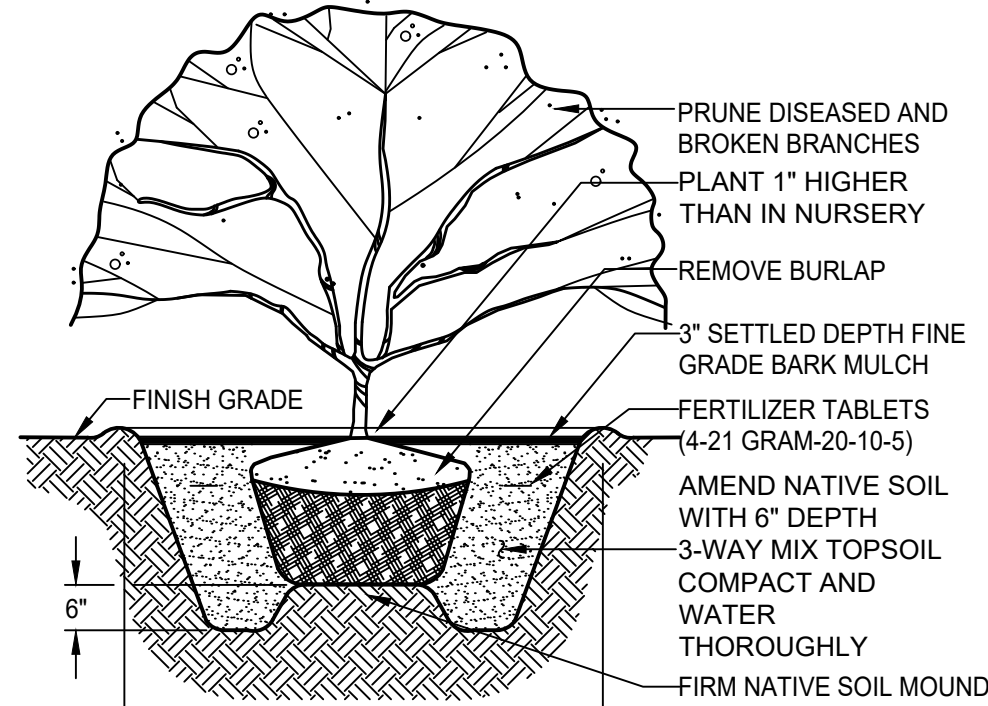
LANDSCAPE NOTES

- DO NOT DIG BEFORE LOCATING UTILITIES.
- SUBGRADES, INCLUDING BERMS, TO WITHIN 1/10TH FOOT PROVIDED BY GENERAL CONTRACTOR UNLESS OTHERWISE NOTED.
- SUBGRADE SHALL BE SCARIFIED OR ROTOTILLED IF CONDITIONS REQUIRE.
- APPLY 6" DEPTH TYPICAL 3-WAY MIX TOPSOIL IN ALL PLANTING AREAS OR AS OTHERWISE NOTED.
- APPLY 3" DEPTH MEDIUM/COARSE GRADE BARK MULCH IN ALL PLANTING AREAS. MULCH TO BE FREE OF WEED SEED, SAWDUST, RESIN OR TANNIN AND SHALL NOT CONTAIN ANY COMPOUNDS DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR IS RESPONSIBLE FOR BRINGING ANY PROPOSED SUBSTITUTIONS OR UNFORESEEN FIELD CONDITIONS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- LANDSCAPE ARCHITECT MAY ADJUST PLANT QUANTITIES OR VARIETIES BASED ON AVAILABILITY OR FIELD CONDITIONS.
- ALL PLANT MATERIAL SHALL BE DISEASE FREE AND ARRIVE IN A VIGOROUS GROWING CONDITION.
- ALL PLANT MATERIAL SHALL CONFORM TO AAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- CONTRACTOR IS RESPONSIBLE TO REVIEW SITE AND PLAN SET AND CLARIFY ANY QUESTIONS PRIOR TO BIDDING.
- ALL TREE PITS SHALL BE INSPECTED TO INSURE PROPER DRAINAGE.
- FRONTAGE STREET TREES SHALL HAVE UNIFORM BRANCHING HEIGHT OF 5 1/2' MINIMUM ABOVE GRADE OR AS OTHERWISE NOTED.
- STREET TREES NEAREST INTERSECTIONS SHALL CONFORM TO LOCAL SIGHT DISTANCE REQUIREMENTS.
- CONTRACTOR AGREES TO WARRANTY AND MAINTAIN ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON PAST INSTALLATION AND SHALL REPLACE DEAD PLANT MATERIAL WITHIN THAT WARRANTY / MAINTENANCE PERIOD WITH NO OBLIGATION TO THE OWNER.
- ALL TREES SHALL BE DOUBLE STAKED AS SHOWN ON THE DETAILS. STAKES TO BE REMOVED AFTER ONE FULL GROWING SEASON. TREES THAT HAVE DIED WITHIN THE ONE YEAR WARRANTY / MAINTENANCE PERIOD SHALL BE REPLACED AND RE-STAKED PER THE DETAIL AT NO ADDITIONAL COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN SITE UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER AND REVIEWING AGENCY.



CONIFEROUS TREE PLANTING & STAKING DETAIL

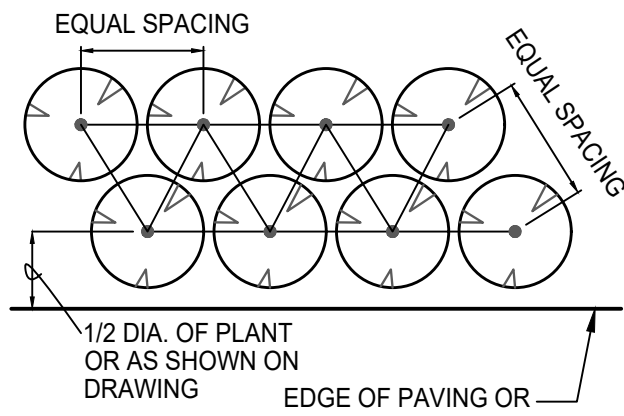
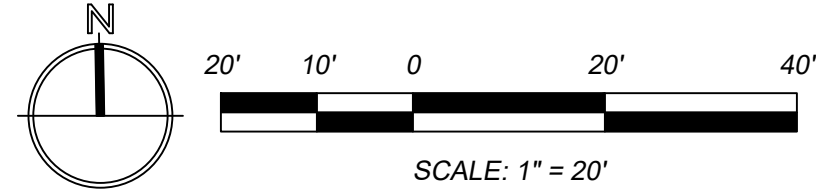
NOT TO SCALE



SHRUB PLANTING DETAIL

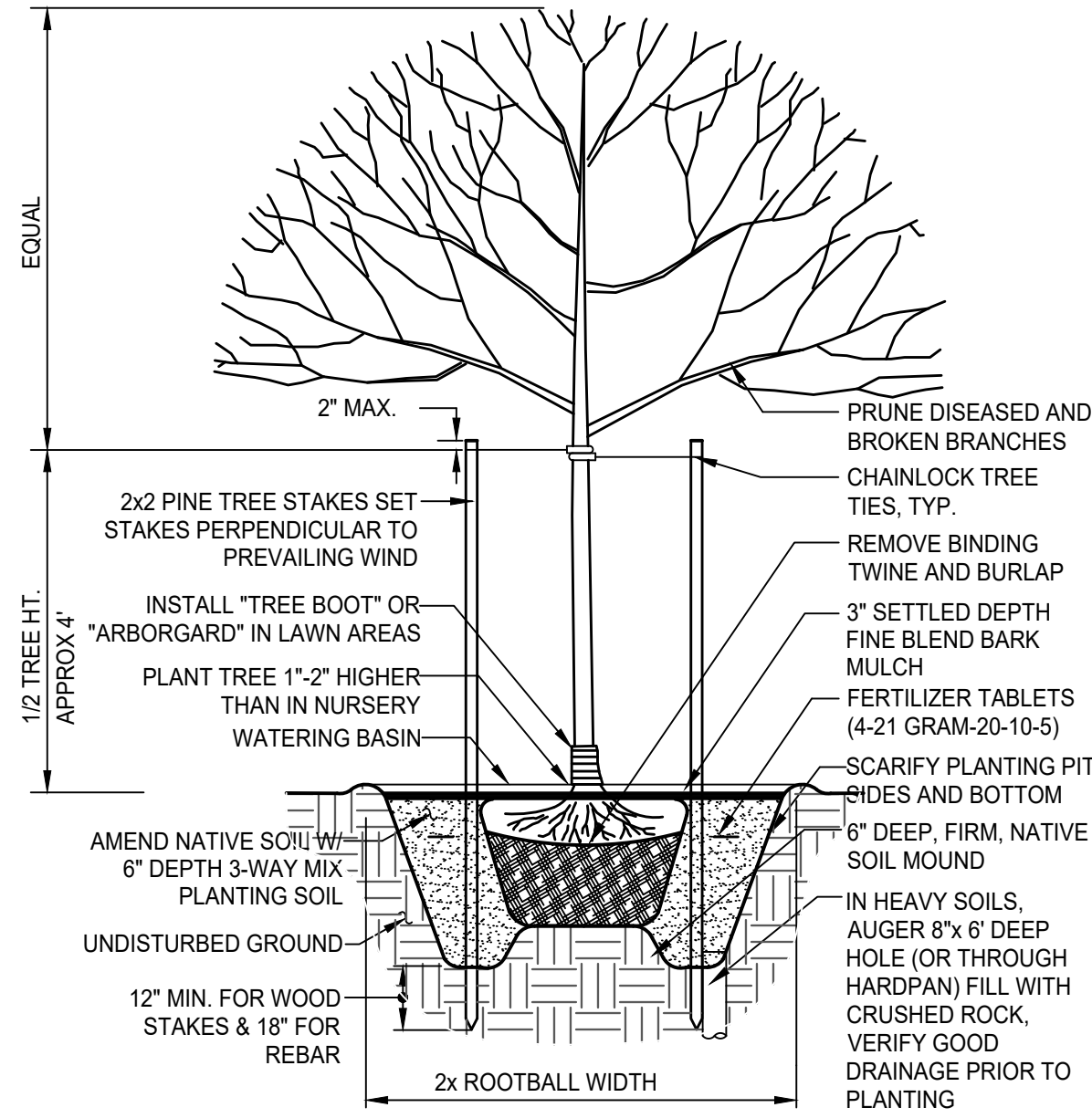
NOT TO SCALE

EX. UTILITIES ARE APPROXIMATE ONLY CALL 1-800-424-5555 BEFORE DIGGING & POTHOLE UNKNOWN EX. UTILITIES BEFORE CONSTRUCTION BEGINS.



SHRUB & GROUND COVER SPACING DETAIL

NOT TO SCALE

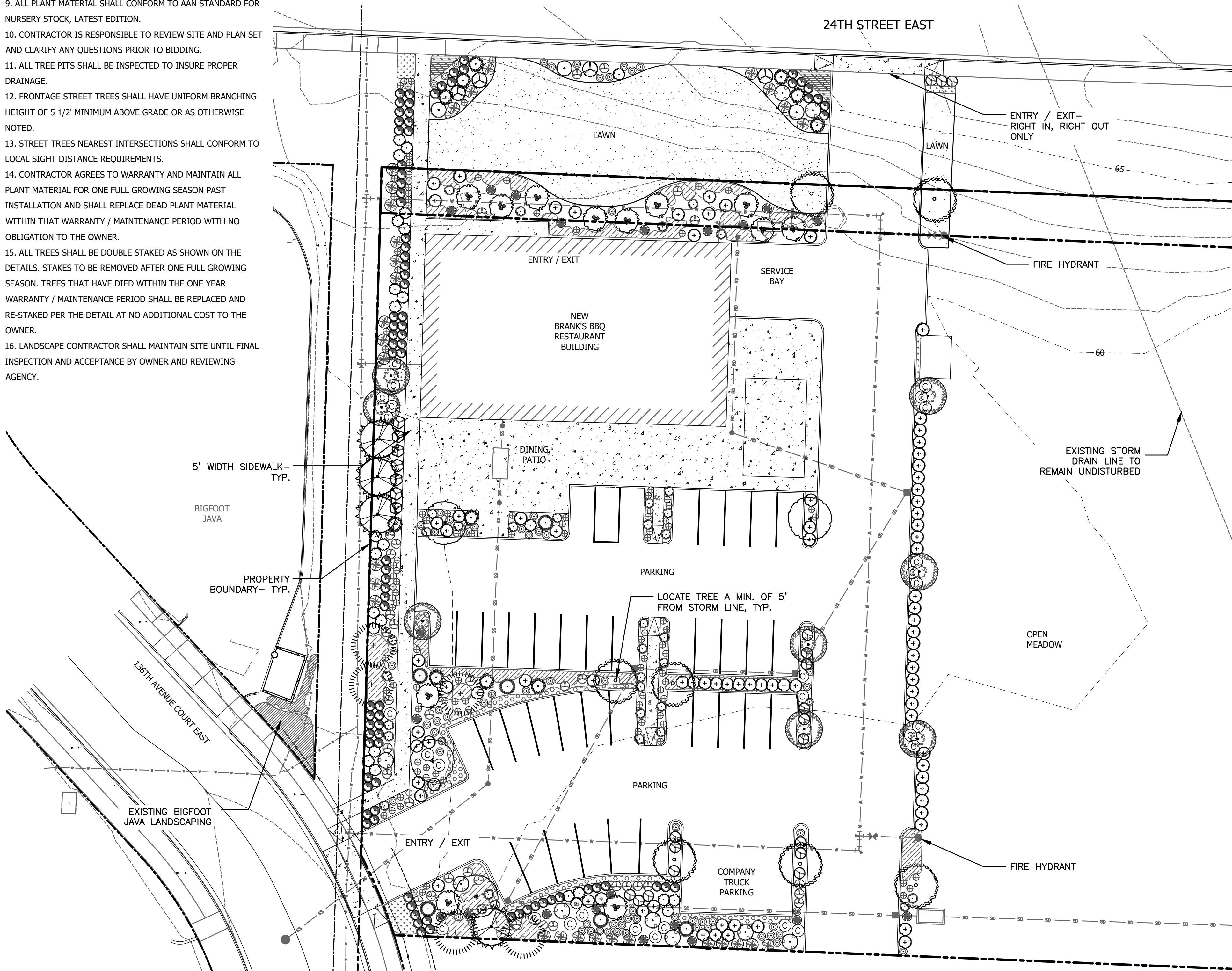


DECIDUOUS TREE PLANTING & STAKING DETAIL

NOT TO SCALE

PRELIMINARY PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	QUANTITY	SIZE	COMMENTS
TREES:				
	Chamaecyparis nootkatensis / ALASKAN CEDAR	5	6' HT. MIN.	FULL, B&B OR CONT. STOCK
	Styax japonicus / JAPANESE SNOWBELL	7	2" CAL. 8' MIN. HT.	FULL, B&B OR CONT. STOCK
	Acer palmatum 'Bloodgood' / BLOODGOOD	4	2" CAL. 8' HT. MIN.	FULL, B&B OR CONT. STOCK, MULTI-TRUNK
	Pinus flexilis 'Vanderwolf Pyramid' / VANDERWOLF LIMBER PINE	4	6' HT. MIN.	FULL, B&B OR CONT. STOCK
	Carpinus betulus 'Frans Fontaine' / COLUMNAR HORNBEE	8	2" CAL. 8' HT. MIN.	FULL, B&B OR CONT. STOCK
SHRUBS:				
	Ceanothus x desilleanus 'Topaz' / CALIFORNIA LILAC	4	5 GAL.	FULL, VIGOROUS
	Hydrangea serrata 'Tuff Stuff' / REBLOOMING MOUNTAIN HYDRANGEA	12	5 GAL.	FULL, VIGOROUS
	Pinus mugo pumilio 'Compact Select' / COMPACT MUGO PINE	6	5 GAL.	FULL, VIGOROUS
	Rosa spp. 'Double Knockout Red' / DOUBLE KNOCKOUT RED ROSE	26	5 GAL.	FULL, VIGOROUS
	Calliopsis x 'Pearl Glam' / PEARL GLAM BEAUTYBERRY	3	5 GAL.	FULL, VIGOROUS
	Caryopteris x 'Lissilv' / STERLING SILVER BLUEBEARD	9	5 GAL.	FULL, VIGOROUS
	Azalea 'Autumn Bonfire'	11	5 GAL.	FULL, VIGOROUS
	Viburnum davidii / DAVID'S VIBURNUM	85	5 GAL.	FULL, VIGOROUS
	Gardenia jasminoides 'Frostproof' / FROSTPROOF GARDENIA	7	5 GAL.	FULL, VIGOROUS
	Convulvulus cnoceum / SILVERBUSH	29	1 GAL.	FULL, VIGOROUS
	Prunus laurocerasus 'Otto Luyken' / OTTO LUYKEN LAUREL	18	5 GAL.	FULL, VIGOROUS
	Nandina domestica 'Moon Bay' / MOON BAY SACRED BAMBOO	35	5 GAL.	FULL, VIGOROUS
	Alchemilla mollis / LADY'S MANTLE	112	5 GAL.	FULL, VIGOROUS
	Lavendula x intermedia 'Grosso' / GROSSO FRENCH HYBRID LAVENDER	88	5 GAL.	FULL, VIGOROUS
	Nepeta x faassenii 'Walker's Low' / CATMINT	69	1 GAL.	FULL, VIGOROUS
	Helictotrichon sempervirens / BLUE OAT GRASS	33	5 GAL.	FULL, VIGOROUS
	Calamagrostis acutiflora 'Karl Foerster' / FEATHER REED GRASS	30	5 GAL.	FULL, VIGOROUS
	Mahonia nervosa / LONG LEAF OREGON GRAPE	21	5 GAL.	FULL, VIGOROUS
GROUNDCOVERS:				
	Galium odoratum / SWEET WOODRUFF	~235	4" POT OR 1 GAL.	FULL, VIGOROUS, 24" O.C. Δ SPACING
	Cerastium tomentosum / SNOW-IN-SUMMER	~104	4" POT OR 1 GAL.	FULL, VIGOROUS, 24" O.C. Δ SPACING
	Veronica repens / CREEPING SPEEDWELL	~54	4" POT OR 1 GAL.	FULL, VIGOROUS, 24" O.C. Δ SPACING
	Thymus pseudolanuginosus / WOOLY THYME	~136	4" POT OR 1 GAL.	FULL, VIGOROUS, 24" O.C. Δ SPACING
	Phlox subulata 'Snowflake' / CREEPING PHLOX	~29	4" POT OR 1 GAL.	FULL, VIGOROUS, 24" O.C. Δ SPACING



BRANK'S BARBEQUE
24XX 136TH AVENUE CT E, SUMNER WA
PRELIMINARY LANDSCAPE PLAN



Know what's below.
Call before you dig.

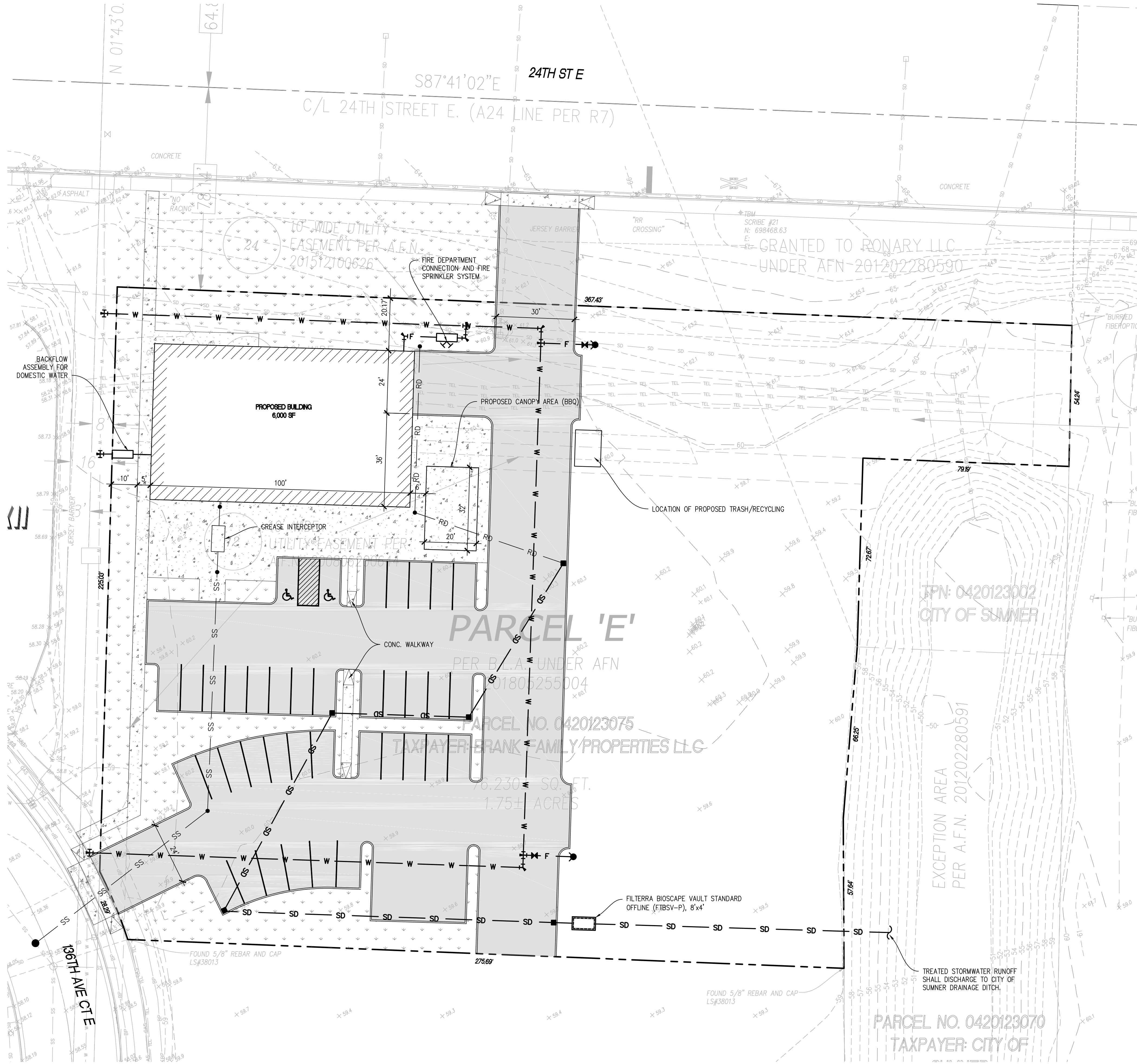


12-20-2023

STATE OF WASHINGTON
REGISTERED
LANDSCAPE ARCHITECT
Leanne D. Kuhlman
LEANNE D. KUHLMAN
CERTIFICATE No. 743

Project	PKBB-23	Sheet	L-1
Date	12/20/2023		OF 1
Scale	1" = 20'-0"		

C:\19636\19636\Drawings\19636 - Site Plan.dwg last edited: 12/2/23 8:13am by LK



CONCEPTUAL SITE PLAN
SCALE: 1"=20'

VICINITY MAP



LEGEND

	CONCRETE PAVEMENT		CATCH BASIN
	ASPHALT PAVEMENT		CLEAN-OUT
	LANDSCAPING		FIRE DEPARTMENT CONNECTION
	CONCRETE CURB		POST INDICATOR VALVE
	PAINT MARKING		FIRE HYDRANT
	PROPERTY LINE		PIPE FITTING
	SD STORM DRAIN PIPE		
	RD ROOF DRAIN PIPE		
	W WATER SERVICE		
	F FIRE SPRINKLER SERVICE		
	SS SANITARY SEWER PIPE		

PROJECT INFORMATION

PROPERTY OWNER:	BRANKS FAMILY PROPERTIES LLC
PROPERTY ADDRESS:	13700 24TH STREET EAST, SUMNER, WA 98390
ASSESSOR'S PARCEL NO:	0420123075
PARCEL AREA:	76,230 SF (1.75 ACRES)
ZONING:	INTERCHANGE COMMERCIAL (IC)
BUILDING AREA:	6,000 SF
VEHICULAR USE AREA (ASPHALT):	22,010 SF
CONCRETE AREA:	6,580 SF
LANDSCAPE AREA:	15,460 SF
SITE COVERAGE:	50,050 SF
BUILDING SETBACK:	ALLOWED 15'-0" FRONT; 15'-0" SIDE PROPOSED 20'-2" FRONT; 15'-0" SIDE (PER SMC 18.16.070)
REQUIRED PARKING:	RESTAURANTS: ONE SPACE FOR EVERY FOUR SEATS, PLUS ONE SPACE FOR EVERY EMPLOYEE ON THE MAXIMUM SHIFT (PER SMC 18.42.040) 60 SEATS IN RESTAURANT (15 STALLS), 8 WORKERS PER SHIFT (8 STALLS); 23 PARKING STALLS REQUIRED.
PARKING PROPOSED:	38 PARKING STALLS, INCLUDING 2 ADA STALLS.

DESIGNED	KNL	APPROVALS	DESIGNED	KNL
DRAWN	KNL	DRAWN	KNL	KNL
CHECKED	DCD	CHECKED	DCD	DCD
DATE	08/15/23	DATE	08/15/23	DATE
SCALE	AS NOTED	SCALE	AS NOTED	SCALE

PRELIMINARY

CIVIL | STRUCTURAL | ARCHITECTURAL | SURVEY
4815 CENTER STREET | TACOMA, WA 98409
PHONE: (253) 744-9449 | FAX: (253) 474-0153
http://www.sitts-hill.com

PK ENTERPRISES

23035 SE 263RD STREET EAST
MAPLE VALLEY, WA 98003
(206) 227-7445

BRANKS BBO
SITE DEVELOPMENT
SUMNER, WA 98390

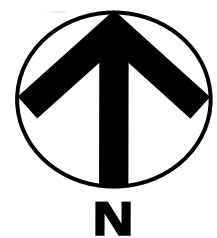
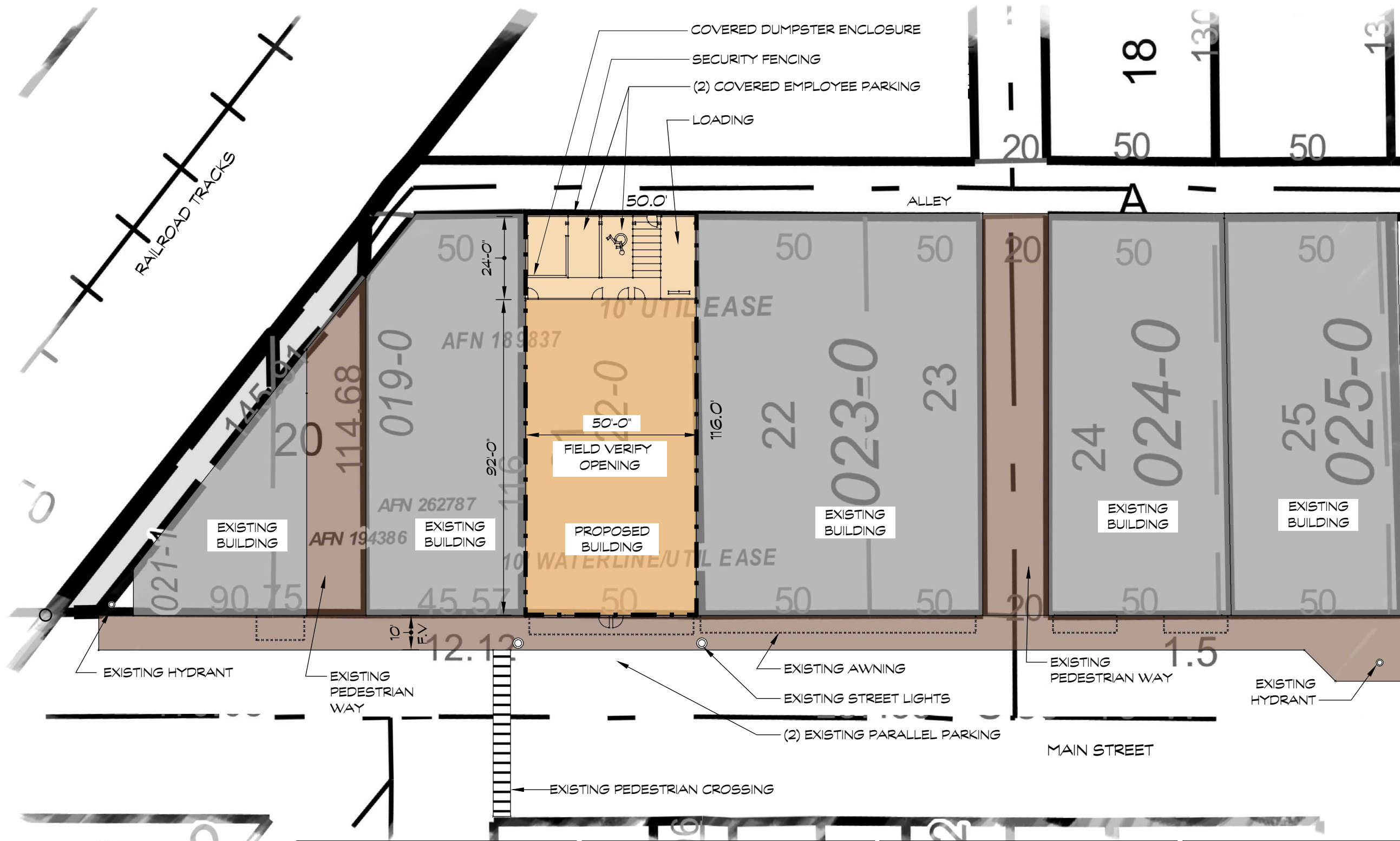
SHEET TITLE
CONCEPTUAL SITE PLAN
FOR DESIGN REVIEW

SHEET NO.

EXH 1.0

PROJECT NO.

19636



SITE PLAN

SCALE: 1" = 30'

0 15 30

Scale: 1" = 30 feet

SITE INFORMATION

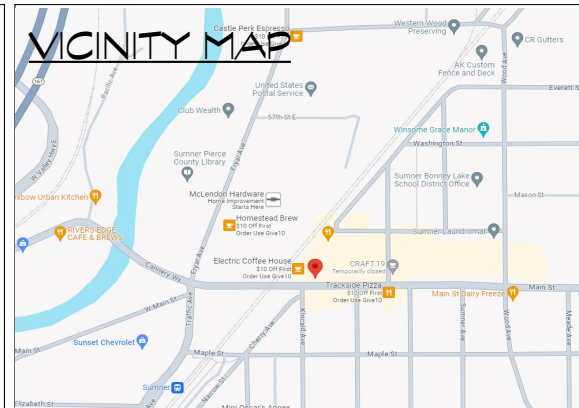
PARCEL #: 7985000220
ADDRESS: 1003 TO 1005 MAIN STREET
LOT SIZE: 5,800 SF (50'-0" x 116'-0")
ZONE: TOWN CENTER
UTILITIES: EXISTING CONNECTIONS
FLOOD ZONE: NO
OUTDOOR STORAGE: NONE
LANDSCAPING: NONE

BUILDING INFORMATION

CONSTRUCTION TYPE: VB
PROPOSED USES: BAR, RETAIL, OFFICE
BUILDING HEIGHT: 44'-4"
SPRINKLERED BUILDING AREA: 16,200 SF

PARKING CALCULATION

OFFICE AND RETAIL: 2.5 SPACES/1,000 SF
BAR: 1 SPACE/4 OCCUPANTS
BAR = $50/4 = 12.5$
RETAIL & OFFICE @ 11,570 SF =
 $11,570 \times 2.5 = 28.9$
TOTAL PARKING = 41
2 SPACES ON FRONTAGE AND 2 SPACES
ON ALLEY ARE PROVIDED

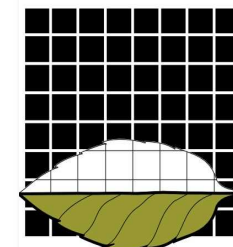


Sumner Building Design Review

Schematic Site Plan

Dec 13, 2023

Page 1 of 1



James Guerrero Architects, Inc.
7520 Bridgeport Way West
Lakewood, WA 98499
Telephone (253) 581-6000
Web Site: jgarch.net

James Guerrero
Architects, INC



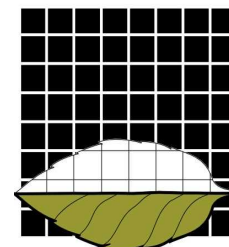
Main Street View



Alley View



Main Street View



James Guerrero
Architects, INC

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Sumner Building Design Review

Elevation Views

Dec 13, 2023

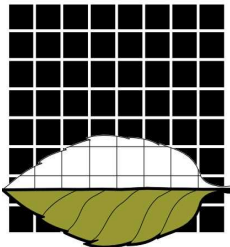
Page 1 of 2



Front Elevation
Scale: 1/8" = 1'-0"



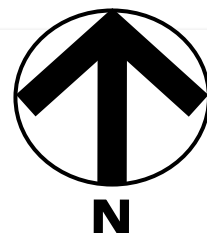
Back Elevation
Scale: 1/8" = 1'-0"



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James Guerrero
Architects, INC

Restrooms and partition walls illustrate potential tenant improvements and are not included in the shell building.



SCALE: 1/16" = 1'-0"

Dec 13, 2023

James Guerrero
Architects, INC

James Guerrero Architects, Inc.
7520 Bridgeport Way West
Lakewood, WA 98499
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Web Site: jgarch.net



CITY OF
SUMNER
WASHINGTON

REPORT TO THE DESIGN COMMISSION
from the DEVELOPMENT SERVICES DEPARTMENT

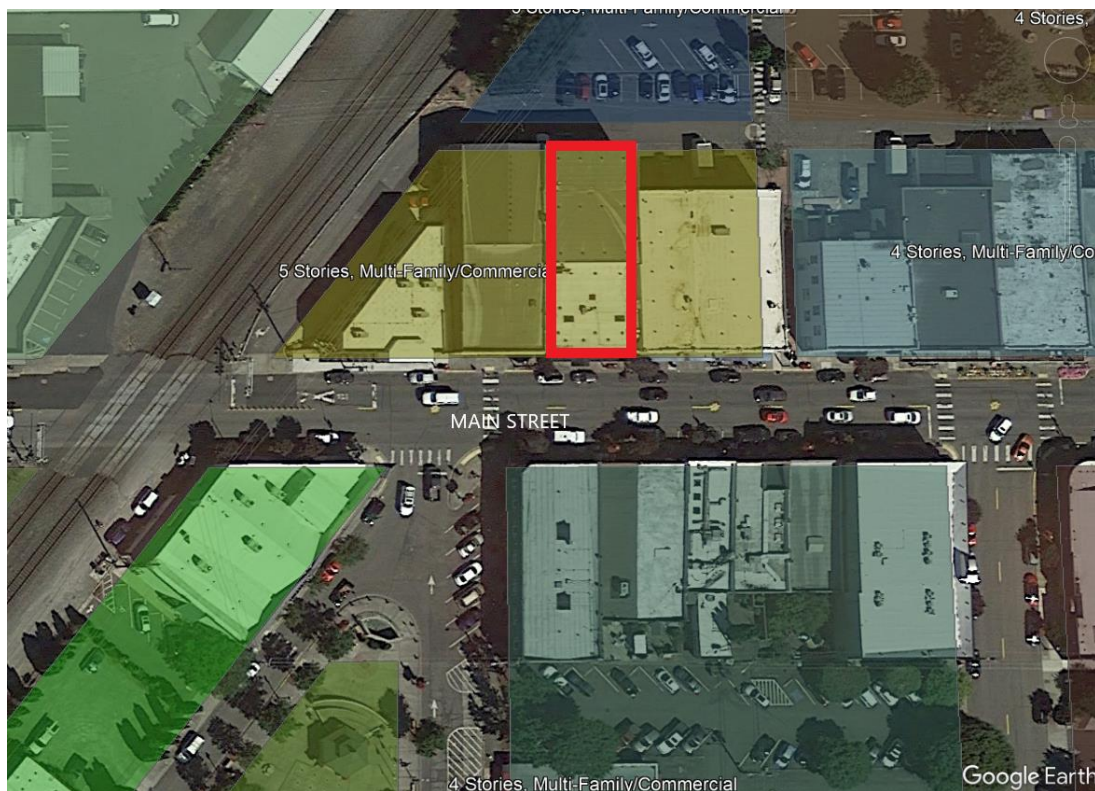
Permit Number:	DR-2023-0015
Owner:	Marshall & Barbara Bennett 5423 Monta Vista Dr. Edgewood, WA 98372
Applicant:	James Guerrero, AIA James Guerrero Architects, Inc 7520 Bridgeport Way W Lakewood, WA 98499
Project Location:	1003 to 1005 Main Street Sumner, WA 98390. Parcel# 7985000220
Project Components:	Design review for the development of a new 3-story mixed commercial building includes 16,200 SF with covered parking on a 0.13 acre site.
Required Permits:	SEPA Town Center Plan-PAO determination of compliance, Civil and Building permits
Staff Representation:	Chrissanda Walker, Associate Planner
Date of Meeting:	February 21st, 2024
Attachments:	Plans (includes renderings, site plan, elevations and floor plans)
Recommendation:	Approve with conditions
Staff Report sections:	I. Background Information II. Review Criteria and Analysis III. Staff Recommendation

I. BACKGROUND INFORMATION

a. Site Location and Vicinity

The site is a current vacant 5,800 SF lot approximately 0.13 acres, and the previously constructed 2-story building was lost to a fire back in 2022. The site is zoned in the Town Center plan (TCP) Historic District with frontage along Main Street. To the north is TCP Historic District, zoned for up to 5-6 story multi-family/commercial development, an alley way separates the site from public parking lots and existing commercial businesses; adjacent to the east and west are existing 2-story commercial structures and to the south across Main Street are commercial businesses and a mix of existing residential, as Town Center transitions from Historic District to Station District.

Vicinity:



b. Proposal Description and Background

The project proposes a new commercial building, a 3-story mixed-commercial development with 16,200 SF of commercial space. Located in the TCP Historic district, building heights within 30 feet of Main Street are limited to 3 stories. The proposal includes two tenant commercial spaces on the ground story, a retail space with approximately 1800 SF and 2,250 SF for a bar/restaurant use. The upper two stories each contain 5,800 SF which would be developed as office space. The project will need to apply for an administrative waiver to reduce the required parking as allowed in the TCP per SMC 18.42.047. The proposal includes a loading stall and 2 on-site employee

parking spaces located in the rear and there are 2 on-street parking spaces located along the frontage.

The lot is relatively small and rectangular in shape and measures approximately 50 feet wide. Existing buildings will abut both sides and a 3-story structure would be feasible. This design review evaluates the front and rear facing facades and rooftop design. The TCP applies the form base code alongside Sumner's Design and development guidelines to ensure projects fit in with Sumner's character envisioned for the Historic District. The following design guidelines analysis evaluates parking location and design, pedestrian-oriented design and building materials to ensure this project meets Sumner's standards for a high-quality product.

II. REVIEW CRITERIA AND ANALYSIS

The project site is in Sumner's Town Center Plan (TCP) Historic district and zoned for up to 3-4 story multi-family and/or commercial developments. This project is evaluated by Sumner's Design and Development Guidelines, section 1 for Town Center and the project is subject to the TCP form-base code (FBC) as adopted under SMC 18.29.070. Some design requirements are referenced in the FBC and reflected where applicable below.

1.1 Site Design and Parking

1.1.1 Building location. Buildings must be located adjacent to the sidewalk and feature pedestrian-oriented facades. This includes:

- a) **Primary building entry on this facade.**
- b) **For commercial space on the ground floor:**
 - a. **Transparent windows and doors covering at least 75 percent of the façade between 2 and 8 feet above the ground.**

Exceptions:

 - i. **Buildings may be set back from the sidewalk provided the space between the sidewalk and the building meets the definition of a pedestrian-oriented space.**
 - ii. **For street corner buildings, the Director will consider reducing the transparency requirement to 50 percent of the ground floor facade between 2 and 8 feet above the sidewalk provided the facade incorporates sufficient design details that provide visual interest at a pedestrian scale. Facades along Main Street shall not qualify for this exception.**
 - b. **Pedestrian weather protection at least 5 feet wide along at least 75 percent of the building's front face. Wider weather protection features are encouraged to provide for outdoor seating areas. The weather protection may be in the form of awnings, marquees, canopies, arcades, or building overhangs. Gaps in the covering allow for visual variety in the facade through the use of architectural features and/or landscaping components.**

The proposed 3-story commercial building is subject to section a) and b) of this guideline above. The primary building entrances are located along the front façade, it includes 3 separate entrances, 2 ground story pedestrian-oriented commercial uses and one entrance for commercial offices proposed on the upper stories; see floor plan sheet for layout. The guideline recommends achieving at least 75% transparency.

On the ground story the retail space contains 1,825 SF gross floor area, and has a front facade area less than 200 SF. It is proposed with a 9-foot-wide storefront window, a single doorway entrance with a transom window and achieves 45% transparency. The building entrance for the upper-story commercial is proposed in the middle of the 2 ground-story commercial spaces, with 8 feet for the front facade width, approximately less than 100 SF facade area. It includes one doorway with a transom window above achieving 28% transparency. On the left, 25 feet of the remaining building front facade is the proposed bar/tavern with 2,250 SF gross floor area. The front includes 2 roll up doors, 8 feet in width and a single entrance door with a transom window providing 62% transparency. The total transparency as proposed for the ground story is approximately 44%. Staff would recommend adding transparency with a double door or sidelight windows for the middle commercial entrance. Staff would like to discuss the options to increase transparency.

Pedestrian weather protection is provided with upper story balconies that stretch across the entire front façade. It is proposed 5 feet wide and overhangs 12 feet above the ROW; subject to the issuance of a Temporary Use Permit, a balcony may encroach up to 6 feet over the right-of-way but must be at least 2 feet inside the curb line or edge of pavement, whichever is greater. The sidewalk along the frontage is 10 feet wide and the proposed 5 feet wide balcony would be allowed. This element is also similar to the original historic building's design, with a cantilevered awning over 100% of the front face of the building that faces Main Street. Staff would like to discuss materials. Staff has recommended some conditions to address this guideline.

1.1.3 Parking location and design:

- a) Main Street: New surface parking lots or ground floor structured parking fronting Main Street are prohibited.**
- b) All other streets: Parking shall be located behind or under structures and away from streets. Where at least some street front surface or structured parking and vehicular access is unavoidable, as determined by the Director, no surface parking may occupy the street frontage. Structured parking (parking garage) may occupy the street frontage with appropriate screening elements. Vehicle access shall be limited from the street and should be shared by multiple users as applicable. Surface parking lots shall be screened from the sidewalk by one of the following methods:**
 - i. Provide a 5-foot wide planting bed that incorporates a continuous low wall (approximately 3 feet tall). The planting bed shall be in front of the wall and feature Landscaping Type C. Alternative landscaping schemes will be considered by the Director provided they meet the intent of the**

guidelines. The wall shall be constructed of brick, stone, decorative concrete or concrete block, or other permanent material that provides visual interest and helps to define the street edge as determined by the Director. See Figure 1-5 for an example.

- ii. Provide an elevated planter which is a minimum of 5 feet wide and between 2 and 3 feet in height. Ledges that are approximately 12 inches in width are encouraged as they can double as a seating area. The planter must be constructed of masonry, concrete or other permanent material that effectively contrasts with the color of the sidewalk and combines groundcover and annuals, perennials, ornamental grasses, low shrubs, and/or small trees that provide seasonal interest as determined by the Director. See Figure 1-6 as an example.
- c) Surface or structured parking lots may not be located adjacent to street corners, but the Director may make exceptions for any street, except for Main Street, provided the development includes a special corner treatment that mitigates negative visual impacts of a parking lot, including applicable sight distance requirements, and adds character and identity to the Town Center.

Parking location and design for this development includes 2 employee parking stalls and 1 loading stall located in the rear off the alley. The structured parking is proposed under the second story and will be screened with roll up doors, location proposed is consistent with this guideline. This guideline is met.

- 1.1.4 Vehicular access and curb cuts.** In the Historic District new driveways onto any street are prohibited. Access to all other off-street parking areas shall be from existing alleys. All other Districts shall limit parking access from the street. Shared driveways and access are recommended when possible. An easement(s) for public and/or future access may be required.

This project does not propose any new curb cuts or any new driveways onto any streets. This guideline is met.

- 1.1.5 Street corner sites.** All buildings located at the intersection of streets are encouraged to include design elements that accentuate their street corner location. Consider orienting the primary entrance to the corner. Cropped or notched building corners that provide for small pedestrian-oriented spaces adjacent to the street corner are encouraged.

The site is not on a corner; therefore this guideline is not applicable.

- 1.1.6 Open space.** Commercial developments within the Town Center Plan and in the Activity Nodes or Public Space designations are required to provide pedestrian-oriented space. Commercial developments in the Historic District are not required to incorporate open spaces into the design of the site, but pedestrian-oriented space is encouraged to provide for gathering spaces Downtown. Desirable locations for pedestrian-oriented space are:

- a) **Between the sidewalk and the building entrance.**
- b) **Adjacent to the street corner.**
- c) **Adjacent to a building's secondary entrance (off the alley).**
- d) **On rooftops as a patio or garden.**

This project falls within the Historic District and as identified above are not required to incorporate open space into the design of the site. The project, however, does provide approximately 500 SF of private open space with two balcony spaces on the 2nd and 3rd level. This guideline is met.

1.1.7 Pedestrian-oriented space guidelines:

- a) **To qualify as a pedestrian-oriented space, an area must have all of the following:**
 - i. **Pedestrian access to the abutting structures from the street, private drive, or a non-vehicular courtyard.**
 - ii. **Paved walking surfaces of either concrete or approved unit paving.**
 - iii. **Pedestrian-scaled lighting (no more than 14 feet in height) at a level averaging at least 2-foot candles throughout the space. Lighting may be on-site or building-mounted lighting.**
 - iv. **At least 3 feet of seating area (bench, ledge, etc.) or one individual seat per 60 square feet of plaza area or open space.**
 - v. **Spaces must be positioned in areas with significant pedestrian traffic to provide interest and security – such as adjacent to a building entry.**
 - vi. **Landscaping components that add seasonal interest to the space.**
- b) **The following features are encouraged in pedestrian-oriented space:**
 - i. **Pedestrian amenities such as a water feature, drinking fountain, and/or distinctive paving or artwork.**
 - ii. **Provide pedestrian-oriented facades on some or all buildings facing the space.**
 - iii. **Consideration of the sun angle at noon and the wind pattern in the design of the space.**
 - iv. **Transitional zones along building edges to allow for outdoor eating areas and a planted buffer.**
 - v. **Movable seating.**
- c) **The following features are prohibited within pedestrian-oriented space:**
 - i. **Asphalt or gravel pavement.**
 - ii. **Adjacent unscreened parking lots.**
 - iii. **Adjacent chain link fences.**
 - iv. **Adjacent blank walls.**
 - v. **Adjacent dumpsters or service areas.**
 - vi. **Outdoor storage or retail sales that do not contribute to the pedestrian environment. An example is stacked bags of potting soil or compost, which are common in front of grocery stores during the spring and summer. The area used for such purposes will not be counted as pedestrian-oriented space.**

Under DG 1.1.6, open space is not required for developments within the Historic District, but pedestrian oriented space is encouraged to provide for gathering spaces Downtown. Desirable locations for pedestrian-oriented space this project could include is between the sidewalk and the building entrance, adjacent to a building's secondary entrance (off the alley) or on rooftops as a patio or garden. The proposed development places the building up towards the sidewalk and features 2 roll-up doors. Depending on how the interior seating and tables are designed, these roll-up doors could provide an opportunity for partial outdoor seating. If the project desires to offer outdoor seating within the ROW, this would be applied through a temporary use permit to allow movable seating to be in the ROW during business hours. A recommendation to consider the transition zone, with materials that would delineate outdoor seating space is provided for discussion.

1.1.8 Service and utility elements guidelines:

- a) Dumpsters, refuse and recycling containers, loading, mechanical areas, utility meters, electrical conduit, and other service/utility elements shall be located in alleys where available. Where alleys are not available or alternative location is necessary, service elements shall be located and designed to minimize the impacts on the streetscape and customer parking areas. Solid waste receptacles visible from the street, customer parking areas, and residential units shall be surrounded on at least three sides by a site obscuring fence or wall. Chain link fencing with slats may be used for gates but not for the enclosure. Landscaping elements surrounding such screen walls are encouraged.**
- b) All rooftop mechanical equipment shall be organized, proportioned, detailed, landscaped (with decks or terraces) and colored to be an integral element of the building.**
- c) Exterior hose bibs must be located as to not interfere with access to entryways.**
- d) No large outside item display areas are permitted (e.g. kitchen appliances or other similarly large merchandise that is visible from the street).**
- e) Exterior mechanical devices shall conform to SMC 18.16.080(A) concerning noise impacts.**
- f) Dumpster, refuse, and recycling containers shall be well maintained. Doorways shall be closed when not being serviced.**
- g) Exterior electrical utilities, such as transformer boxes, shall be developed in a manner that provides visibility and shall include artwork murals to deter graffiti. These areas may include pedestrian amenities such as seating or plantings that reduce the visual impact.**

Dumpster enclosures are proposed behind and adjacent to the alley. It is located under the structure adjacent to the parking area and will be screened with 6-foot-tall CMU's on 3 sides proposed in a color similar to the building finish. The gate on the 4th side should be designed with a durable material, the FBC would require a solid gate. The trash enclosure gate faces the alleyway and shall be equipped with self-closing hinges and secured in place when not in use. The proposed rooftop mechanical equipment shall be structurally screened and colored to be an integral element of the building. Staff has recommended some conditions for discussion.

1.2 Building Character and Massing

1.2.1 Historic District: refers to the restoration of Historic Buildings. New designs should continue the character of the original.

The architecture of the building consumed by the fire in 2022 would have been originally built in the early 1920's with several remodels to the exterior that represent later periods. This guideline refers to restoration of existing Historic buildings. The design of the project today provides a mix of building materials that lends to early time periods and the incorporation of brick and details does a good job mixing historic with new. This guideline is met.

1.2.2 Non-period architecture. Existing architecture which is not consistent with the early 1900 style and represents later periods is also encouraged to celebrate distinctive design features, except where such features conflict with other standards and guidelines herein, as determined by the Director. Renovations of these structures should facilitate pedestrian access. Unique signage and design elements which are not inconsistent with the remainder of the guidelines are to be encouraged.

Due to the fire in 2022 the site is currently vacant. This project is a new building and renovations recommendations are not applicable, therefore this section does not apply.

1.2.3 No franchise and corporate architecture. The use of stock building plans, typical corporate and/or franchise designs, "regional prototype alternatives," or other designs which are easily identified with a particular chain or corporation are not allowed.

No franchise or corporate architecture is proposed as part of this development. This guideline is met.

1.2.4 Design all visible facades. All facades of a building shall be given equal design consideration. Some flexibility may be given by the Director for alley or other facades that are not visible from streets, parks, parking lots, or other uses.

The proposed building has a frontage along Main Street, and the north facing façade is visible from the alleyway. Two existing buildings are located on either side, with limited view of the side facades above the upper story. While the most visible façade is the front, the proposal does a good job carrying design elements throughout the structure. The rooftop is capped along the visible roofline from Main Street and carries the rooftop cap treatment around the alley facing facades, along both the north and the east facades. Brick is proposed primarily on the first and second story facades, with the use of soldier brick accents around windows and ground floor. The black trim around doorways and windows adds a mix of metal and brick materials for a contemporary feel. Concrete panels are proposed as the exterior on the upper story with a large cap along the rooftop for a complimentary color that ties the whole design together. This guideline is met.

1.2.5 Articulation. Buildings in the Town Center Plan should include modulation and/or articulation features every 30-60 feet to reinforce Downtown's pattern of small storefronts. At least two of the following methods must be employed at intervals no greater than 30 feet:

- a. Use of window and/or entries that reinforce the pattern of 30-foot storefront spaces.
- b. Use of weather protection features that reinforce 30-foot storefronts. For example, for a business that occupies three lots, use three separate awnings to break down the scale of the storefronts. Alternating colors of the awnings may be useful as well.
- c. Change of roofline
- d. Change in building material or siding style
- e. Use of pillars every 30-40 feet.
- f. Other methods that meet the intent of the guidelines as approved by the Director and as recommended by the Design Commission.

The proposed building has a maximum length of 50 feet, the development is proposed between two existing 2-story structures. The ground story is broken up at an interval of 15 feet with the repetition of windows and lighting fixtures and the façade is broken up vertically for the human scale with 2 different brick materials proposed, and soldier brick accents at the ground level. Windows on the upper story repeat the 30-foot storefront pattern with balcony doors and storefront windows. A mix of brick and brick accents are incorporated on the second story and the materials change occurs on the top story with the use of concrete panels and balanced transparency. The building incorporates 2 levels balconies, storefront windows and changes in building materials throughout at an interval less than what is required by this guideline. This guideline is met.

1.2.6 Massing for Multi-story buildings: Buildings must use design techniques to break up long continuous building walls and reduce the architectural scale of the building, and add visual interest. Specifically, any building facade longer than 120 feet in width must employ design techniques to successfully limit the perceived length of individual facades. A combination of techniques will likely be required to meet the intent of the guidelines. Possible techniques include a combination of vertical building modulation or roofline modulation with a change in building materials or finishes, a clear change in building articulation and/or fenestration techniques. Changes in paint color alone will not be enough to meet the intent of the guidelines. For buildings incorporating residential uses on upper floors, this guideline is in addition to Guideline 3.6.1.

This building is well under the 120-foot width threshold and therefore this section does not apply.

1.2.7 First story height. In order to ensure the ground floor of structures have adequate height to function efficiently for potential commercial uses, the first story's height to finished ceiling of new infill buildings in the Town Center Plan must not be lower than 13 feet. No waiver or variance will be permitted in activity node areas.

On elevation plans, sheet 4 demonstrates the proposed height of the first story, labeled as 13'-6" and a 12-foot minimum height clearance called out for the projecting balcony. The proposed first story height meets this guideline. This guideline is satisfied.

1.2.8 Vertical articulation. To moderate the vertical scale of multi-story buildings, the design shall include techniques to clearly define the building's top, middle and bottom. The following techniques are suggested methods of achieving vertical articulation:

- a) **Top: Distinct cornice treatments.**
- b) **Middle: Upper level fenestration, material changes, and similar treatments that unify the building design.**
- c) **Bottom: Pedestrian-oriented storefronts, pedestrian-scale building details, and weather protection elements.**
- d) **Other methods that meet the intent of the guidelines as approved by the Director and as recommended by the Design Commission.**

Pedestrian scaled building details and weather protection are adequately shown for the bottom story. The upper story is proposed with similar building materials of the ground story, with added contemporary balconies and the facades incorporate accent bricks and building details. A distinct cornice treatment and rooftop cap that is visible from the ground level is affixed to the top of the 3rd story. The design is proposed with adequate vertical articulation. This guideline is met.

1.3 Building Details and Materials

1.3.1.1 Building Details: Non-residential. All non-residential buildings shall be enhanced with appropriate details. All new buildings are required to employ at least one detail element from each of the three categories below. The applicant must demonstrate how the amount, type, and mix of details meet the intent of the guidelines. For example, a large building with multiple storefronts will likely need more than one decorative sign, one transom window, and one decorative kick-plate to meet the intent of the guidelines.

- a) **Window and/or entry treatment**
 - i. Display windows divided into a grid of multiple panes
 - ii. Transom windows
 - iii. Roll-up windows/doors
 - iv. Other distinctive window treatment that meets the intent of the guidelines.
 - v. Recessed entry
 - vi. Decorative door
 - vii. Arcade
 - viii. Landscaped trellises or other decorative element that incorporates landscaping near the building entry
 - ix. Other decorative entry treatment that meets the intent of the guidelines.
- b) **Decorative facade attachments**
 - i. Decorative weather protections element such as a steel canopy, decorative cloth awning, or retractable awning.
 - ii. Decorative, custom hanging sign(s).
 - iii. Decorative building-mounted light fixtures.
- c) **Building materials and other facade elements**
 - i. Decorative building materials/use of building materials. Examples include decorative use of brick, tile, or stonework.
 - ii. Decorative artwork on building (such as a mural) or bas-relief sculpture.
 - iii. Decorative kick-plate, pier, beltcourse, design.

- iv. **Other details that meet the intent of the guidelines as determined by the Director and as recommended by the Design Commission.**

Other mixtures of detailed elements will be considered provided they meet the intent of the guidelines.

As required above, all new buildings shall employ at least one detail element from each of the three categories. The proposal includes a distinctive window and entry treatment, with soldier brick accents and storefront windows divided into panes. The roll up doors carry a similar design. The project will include decorative light fixtures and weather protection in the form of a 5-foot-wide balcony that extends the entire length of the facade. With 3 separate commercial entrances, the use of a decorative kick-plate would be a good addition to satisfy the intent of this guideline. Staff has recommended a condition to add a building detail.

1.3.2 Blank walls.

- a) **A wall (including building facades and retaining walls) is considered a blank wall if:**
 - i. **A ground floor wall or portion of a ground floor wall over 6 feet in height that has a horizontal length greater than 15 feet and does not include a transparent window or door; or**
 - ii. **Any portion of a ground floor wall having a surface area of 400 square feet or greater that does not include a transparent window or door.**
- b) **Untreated Blank walls facing a public street, pedestrian-oriented space, or pedestrian pathway are prohibited. Any new blank walls shall be treated through one or more of the methods below sufficient to meet the intent of the guidelines. For large walls, for example, a combination of treatments may be needed to break up the façade and provide visual interest. Owners of existing buildings containing visible blank walls are encouraged to utilize one or more of the following treatments to add visual interest to the street. Methods to treat blank walls can include:**
 - i. **Display windows.**
 - ii. **Landscape planting bed at least 5 feet wide or a raised planter bed at least 2 feet high and 3 feet wide in front of the wall with planting materials that are sufficient to obscure or screen at least 35 percent of the wall's surface within three years.**
 - iii. **Installing a vertical trellis in front of the wall with climbing vines or plant materials.**
 - iv. **Artwork (mosaic, mural, sculpture, relief, etc.) over at least 50 percent of the blank wall surface.**
 - v. **Other methods that meet the intent as determined by the Director and as recommended by the Design Commission.**

There is one location on the east façade located in the rear and that is only visible from the alley. The adjacent building is not completely built-out on its site, so a portion of the facade is exposed. Design treatments are balanced on this façade, with the breaks in the concrete panels and the rooftop banding that extend around the sides. This guideline is met.

1.3.3 Fire wall treatments: Exposed firewalls alongside property lines visible from a street or parking area must utilize material, color, and/or textural changes as approved by the City to add visual interest to the wall.

The project does not propose any visible exposed firewalls, this guideline does not apply.

1.3.4 Secondary entrance design elements. All commercial uses containing a secondary side or rear customer entrance shall incorporate at least two of the following design elements to visually enhance such entries:

- a) Weather protection over the entry at least 3 feet wide in the form of awnings, marquees, canopies, or overhangs.
- b) Decorative pedestrian-oriented signage consistent with SMC 18.44 that highlights the entry and adds visual interest.
- c) Pedestrian-oriented space or designated outdoor eating areas.
- d) Fixed landscaping elements, including one of the following:
 - i. Landscaped planter or fixed planter box incorporating decorative groundcover, shrubs, and/or trees.
 - ii. A trellis or other similar architectural element that incorporates landscaping.
- e) Decorative pedestrian-scaled lighting fixture(s).
- f) Special building details that highlight the entry and add visual interest.
- g) Other features that meet the intent of the guidelines as determined by the Director and as recommended by the Design Commission.

Entrance spacing requirements are not applicable in the Historic District, whereas other districts in the Town Center plan require a 50-foot spacing between entrances. Evaluation of this design guideline applies to the 3 entrances proposed along the frontage, that each lead to 3 separate commercial uses. The projecting balcony above provides weather protection over all entrances, including the roll-up doors proposed for the bar space. FBC will require balconies to have a minimum depth of 4 feet; the project proposes a 5-foot depth for the balconies above and all projecting platforms will be subject to the issuance of a temporary use permit. This satisfies one (1) element. Another qualifying element are the 4 proposed outdoor lighting fixtures along the ground story that staff would ask the Design Commission to narrow down preferred materials (metals, bronze, galvanized) to qualify the lighting as a decorative element. As recommended, this guideline is met.

1.3.5 Preferred exterior building materials. Building exteriors shall be constructed from high quality, durable materials. In the Historic District brick is the preferred exterior building material. Other building materials may be acceptable provided they meet all other guidelines herein. All other districts shall use durable materials that meet the intent of this section.

The building proposes the use of two complementary brick materials, concrete panels, wrought iron fencing and steel canopies. This guideline is met.

1.3.6 Prohibited materials. The following materials are prohibited in visible locations unless an exception is granted by the Director based on the successful integration of the material into the overall design of the structure.

- a) Vinyl or plywood siding (including T-111 or similar plywood).
- b) Highly tinted or mirrored glass (except stained glass), except when used as an accent design element covering less than 10 percent of the building facade.
- c) Corrugated fiberglass.
- d) Chain link fencing (except for temporary purposes such as a construction site or as a gate for a refuse enclosure). See SMC 18.16.080(m) for restrictions for temporary uses.
- e) Crushed colored rock/crushed tumbled glass.
- f) Non-corrugated and highly reflective sheet metal.

Chain link fencing was proposed to screen the trash enclosure and possibly to screen parking stalls. The applicant provided an update on the materials to be used for security fencing on sheet 4. No other prohibited materials are proposed. This guideline is met.

1.3.7 Special material standards:

- a) **Concrete block.** Special standards for concrete or concrete blocks (concrete masonry units or “cinder blocks”): When used for walls that are visible from a street, public park or open space, or pedestrian route, concrete or concrete block construction shall be architecturally treated in one or more of following ways:
 - i. Use a combination of textured surfaces such as split face or grooved to create distinctive patterns that add visual interest.
 - ii. Use of other masonry types such as brick, glass block, or tile in conjunction with concrete or concrete blocks.
 - iii. Use of decorative coursing to break up blank wall areas.
 - iv. Use matching colored mortar where color is an element of architectural treatment for any of the options above.
- b) **Metal siding.** When used for walls that are visible from a street, public park or open space, or pedestrian route, buildings shall have visible corner moldings and trim and incorporate masonry, stone, or other durable permanent material within 2 feet of the ground level. Facades wider than 40 feet that employ metal siding shall incorporate multiple colors or other siding materials.

The project proposes the use of CMU's around the trash enclosure located in the rear of the building. The CMU is proposed to be colored similar to the building finish to match the design. The location is not located along a pedestrian route and is exempt. This guideline is met.

1.3.8 Year of construction. The year of construction of a building shall be noted by the installation of a permanent cast metal plaque attached to the building. Stone or masonry set integral with other masonry on the front building elevation facing the principal street may be used in lieu of a cast metal plaque. The year of construction is to

be noted by numbers not less than six inches high. Other information associated with the building that may have historic interest in the future may be included.

At the time of building permits, a year of construction plaque shall be shown on the building elevation along Main Street. Consideration should be made to honor the historic architecture era of the previous building construction date. As conditioned this guideline is satisfied.

1.3.9 Color Palette. In the Historic District a storefront's palette should be no more than three colors; one base color, one trim color, and one accent color. Encourage trim and accent colors that contrast with the base color. Specifically, darker base colors with white trim work particularly well. However, lighter base colors can effectively be combined with dark trim colors. Applicants should consult with Sumner's Downtown Association on appropriate façade colors.

The project proposes a brick accent as a trim color to the base brick applied to the ground and 2nd story facades. The upper story is proposed with a tan colored concrete siding panel and is affixed with a dark grey and black rooftop cap. The proposed color palette fits in with the Historic District design intent. This guideline is met.

1.4 Streetscape and Landscaping

1.4.1 Sidewalk widths and uses.

- a) New buildings intended for ground floor restaurant or other similar uses that may desire outdoor dining or seating opportunities are encouraged to setback storefronts to provide for wider sidewalks. For example, 12-foot sidewalks allow for very limited outdoor dining/sitting opportunities, while 15-foot sidewalks provide a more desirable configuration for outdoor dining. Also see SMC 12.28.100 and 18.16.080(O) for related standards.
- b) Sidewalks shall not be enclosed as building space for retailing. Outdoor dining and small, temporary displays for items such as groceries, hardware, books, etc. may be allowed provided they do not impede pedestrians passing comfortably on the sidewalk. Also see SMC 12.28.080 for related provisions.

The site currently has a 10' wide section of sidewalk running along its frontage and no new public sidewalk will be constructed. This guideline is met.

1.4.2 Streetscape amenities. Pedestrian amenities must be included along all downtown streets. Specifically, at least one amenity listed below must be included for each 60 lineal feet (on average) of street frontage. The type, location, and design of chosen amenities must contribute to a well-balanced mix of features on the street, as determined by the Director. Developments with greater than 120 linear feet of frontage shall include at least one amenity from Category II below. Desired amenities include:

Category I:

- a) Pedestrian furniture, such as seating space, approved trash receptacles, and consolidated newspaper racks (each piece of furniture may count as an amenity element). The design of such furniture should be compatible, durable, and located

to minimize impacts to pedestrian movement on the sidewalk. Seating areas and trash receptacles are particularly important where there is expected to be a concentration of pedestrian activity (such as near major building entrances and transit stops) and may be required by the Director. Low walls or planter edges to be used for seating should be at least 12 inches wide to function successfully. Seating can be incorporated into parking lot screening walls, building foundations or be free-standing planters or benches.

- b) Planting beds and/or other permanent planting elements;
- c) Decorative pavement patterns and tree grates;

Category II:

- a) Drinking fountain.
- b) Ground-mounted Pedestrian-scaled lighting (placed between 12 feet and 14 feet above the ground) as approved by the Director.
- c) Informational kiosks.
- d) Transit shelters.
- e) Decorative clocks.
- f) Artwork such as sculptures, installations, or other artwork incorporated into sidewalk.

Features above that are publicly funded, already required by code, and/or obstruct pedestrian movement (at least 8 feet of unobstructed horizontal clearance is required on all sidewalks) will not qualify as an amenity to meet this guideline.

The proposed development has a frontage which spans just under 50 feet and could install at least one pedestrian amenity as recommended by this guideline. However, there are already two trash receptacles located just east and west of this site. A pedestrian-scaled streetlight and two street trees are also located on this frontage. The proposed landscape planters along the building edge could be designed as seating to qualify as a streetscape amenity and would be subject to a temporary use permit. In the FBC, streetscape planting could be considered within the public realm and landscape features are a good enhancement for pedestrian-oriented spaces. A staff recommendation provided below for discussion is the proposed fixed landscape planters proposed along the building edge.

1.4.3 Site Lighting. Provide adequate lighting levels in all areas used by pedestrians or automobiles, including building entries, walkways, parking areas, circulation areas, and other open space areas.

New developments shall provide site lighting that meets the following design criteria through implementing measures such as:

- a) All public areas shall be lighted with average minimum and maximum levels as follows:
 - i. Minimum (for low or non-pedestrian and vehicular traffic areas) of 0.5 foot candles;
 - ii. Moderate (for moderate or high volume pedestrian areas) of 1-2 foot candles; and

- iii. **Maximum (for high volume pedestrian areas and building entries) of 4 foot candles.**
- b) **Lighting shall be provided at consistent levels, with gradual transitions between maximum and minimum levels of lighting and between lit areas and unlit areas. Highly contrasting pools of light and dark areas shall be avoided.**
- c) **Parking lot lighting fixtures shall be non-glare and mounted no more than 25 feet above the ground, with lower fixtures preferable so as to maintain a human scale. Requests for higher lighting fixtures may be considered with the approval of the Director. All fixtures over 12 feet in height shall be fitted with a full cut-off shield, except for catenary lights.**
- d) **Pedestrian-scaled lighting (light fixtures no taller than 14 feet) is encouraged in areas of pedestrian activity. Lighting shall enable pedestrians to identify a face 45 feet away in order to promote safety.**

The proposal includes on-building light fixtures on the front façade. The wall mounted lights on ground story should be at height for pedestrian-oriented spaces and should be decorative as discussed in other guidelines. The rear elevation did not include any wall mounted lighting, but trash enclosures and parking areas should be well lit. Site lighting will be reviewed under development permits. This guideline is met.

1.4.4 Landscaping. Developments in the Town Center Plan incorporating landscaped areas are subject to SMC Chapter 18.41 requirements with the following exceptions and/or provisions:

- a) **Properties adjacent to Main Street are exempt from the requirements of SMC 18.41.040.**
- b) **Green roofs are encouraged to be used to provide pee patches and open space areas for residents. Such roofs shall have a substrate depth of at least 4 inches designed to accommodate a variety of hardy, drought-resistant plant species.**

This property is proposed on Main Street and are exempt from the minimum landscaping requirements under SMC 18.41, therefore this section is not applicable.

III. STAFF RECOMMENDATION

NOTE: PUBLIC WORKS, BUILDING AND FIRE APPROVAL HAVE NOT BEEN GRANTED UNDER THIS REVIEW. ADDITIONAL PERMITS AND FURTHER REVIEW AND APPROVAL BY ALL DEPARTMENTS IS REQUIRED PRIOR TO FINAL PROJECT APPROVAL.

The proposal (DR-2023-0015) should be subject to the following RECOMMENDED CONDITIONS #1 -10, to be addressed prior to building permit issuance:

1. **DG 1.1.1 Building Location:**
 - a. Along the ground story add approximately 33 SF of additional transparency.
 - b. Balcony overhangs should be designed with durable, high-quality materials.
 - c. A signed hold harmless indemnification agreement for the overhanging balconies shall be submitted prior to final C of O.
2. **DG 1.1.7 Pedestrian-oriented space guidelines:** To encourage pedestrian-oriented spaces in the Downtown staff recommends the project should consider the transitional zone at the building edge where the roll up doors are proposed.
3. **DG 1.1.8 Service and utility elements guidelines:**
 - a. The gate for the trash enclosure should be a solid gate and be equipped with self-closing hinges and secured closed in place when not in use.
 - b. Rooftop equipment shown shall be structurally screened and colored to be an integral element of the building.
4. **DG 1.3.1 Building details:** Staff would recommend adding decorative kick plates to entrance doorways.
5. **DG 1.3.4 Secondary entrance guidelines:** At the time of building permits, show decorative pedestrian-scaled lighting fixtures at building entrances including the rear staff entrance.
6. **DG 1.3.8 Year of Construction:** At the time of building permits, a year of construction plaque shall be shown on the building elevation along Main Street.
7. **DG 1.4.2 Streetscape amenities:** The proposed planters should be designed with a seating ledge to qualify under this guideline and shall be subject to a temporary use permit.
8. **DG 1.4.3 Site Lighting:** The project shall show that site lighting is provided in compliance with these guidelines and the FBC at time of development permit application.
9. **Administrative Parking Reduction:**

This project shall seek approval through an administrative parking reduction request. To meet the requirements for an administrative reduction in parking stalls as allowed under SMC 18.42.047(B) for Town Center Plan development, the applicant will need to (1) enter into an agreement to not protest the formation of a future LID to provide additional parking and (2) show how this proposal will have peak demand during adjacent uses low demand and (3) demonstrate existing public parking within 500' of this site has capacity during this proposal's peak demand. The remaining requirements in SMC 18.42.047(B) have been satisfied. The project must have an approved parking waiver prior to issuance of any development permits.

10. Town Center Plan (TCP) Minor Modification:

The building setback in the rear/adjacent to an alley is required to be a minimum 5 feet setback from the property line. Under the FBC chapter 2, section 4b the Director can approve a decrease of up to 2 feet of a required common lot line or alley setback. The applicant could also request a decrease of up to 2 feet of a required common lot line or alley setback for the parking setbacks. This would result in a minimum setback of 3 feet from the alley. The applicant would like to seek a modification to apply a 0' min setback for the building along the rear. If parking can adhere to a reduced setback of 3 feet, staff would be in support of the 0' minimum building setback. Discussion on the space available to setback parking and the feasibility of adding bicycle parking would like to result in a recommendation from the Design Commission.